



# TORRES SHIRE COUNCIL

To lead, provide and facilitate a sustainable, safe  
and culturally vibrant community

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ABN 34 108 162 398

DATE: 21 June 2024

Our Ref: IDAS23/25  
Enquire to: Ed Kulpa  
Telephone: (07) 4069 1336

The Uniting Church in Australia Property Trust (Q)  
c/- Urban Sync Pty Ltd  
PO Box 2970  
CAIRNS QLD 4870

E-mail: [admin@urbansync.com.au](mailto:admin@urbansync.com.au)

Dear Sir/Madam

## Negotiated Decision Notice

*Given under section 76 of the Planning Act 2016*

I refer to your application and the representations you made in respect to the Decision Notice. On 18 June 2024, Torres Shire Council decided your representations.

Details of the decision are as follows:

### APPLICATION DETAILS

Application No: IDAS23/25  
Street Address: 6 Chester Street and 142 Douglas Street, Thursday Island  
Real Property Description: Lot 1 RP700579 and Lot 2 RP744714  
Planning Scheme: *Torres Shire Planning Scheme 2022 (Version 1)*

### DECISION DETAILS

On 26 April 2024 Council issued the following type of approval:

Development Permit for a Material Change of Use (Multiple Dwelling) and Reconfiguration a Lot (rearranging the boundary).

In relation to change representations, Council resolved at the Council meeting on 18 June 2024 to:

A. Agree that Condition 2.1 of Part 2 – Material Change of Use - be amended as follows to include the additional site plan.

2.1 The approved development must be completed and maintained generally in accordance with the approved plans and documents, except where amended by the conditions of this permit.

Sheet No	Document Name	Revision	Date	Drawn by
WD-01	Cover Sheet	6	27/03/2024	OlyHomes
WD-02.1	Site Plan	6	27/03/2024	OlyHomes
WD-02.3	Site Plan Details	6	27/03/2024	OlyHomes
<b>WD-02.3</b>	<b>Site Plan – Tree to be removed</b>	<b>5</b>	<b>21/02/2024</b>	<b>OlyHomes</b>
WD-02.4	Site Plan Structures	6	27/03/2024	OlyHomes
WD-02.5	Site Elevations	5	21/02/2024	OlyHomes
WD-03.1	Seaview Floor Plan (Typical)	6	27/03/2024	OlyHomes
WD-04	Seaview Elevations (Typical)	6	27/03/2024	OlyHomes
WD-13.1	Accessible Units Floor Plan	6	27/03/2024	OlyHomes
WD-14	Accessible Units Elevations	6	27/03/2024	OlyHomes
WD-24.1	Studio Units Floor Plan	6	27/03/2024	OlyHomes
WD-25	Studio Units Elevations	6	27/03/2024	OlyHomes
WD-20	Douglas Street Carport Details	5	21/02/2024	OlyHomes
144-038-SK02	Swept Path Analysis	1	11.03.24	CivilWalker Consulting Engineers
144-038-SK03	Swept Path Analysis	1	11.03.24	CivilWalker Consulting Engineers
144-038-SK04	Swept Path Analysis	1	11.03.24	CivilWalker Consulting Engineers
144-038-001R	Engineering Report	C	November 2023	CivilWalker Consulting Engineers

**Timing:** At all times.

B. That a copy of the Negotiated Decision Notice be provided to the State Assessment Referral Agency (SARA).

**CURRENCY PERIOD OF APPROVAL**

The use of the subject land must be commenced within a period of four (4) years (reconfiguring a lot) and six (6) years (material change of use) from the date, unless otherwise stated, the approval takes effect in accordance with section 71 of the *Planning Act 2016*. Should the subject use not be commenced prior to the expiry of such period, this approval will lapse.

**ASSESSMENT MANAGER CONDITIONS**

This approval is subject to the conditions in Attachment 1.

## PROPERLY MADE SUBMISSIONS

Not applicable – no part of the application required public notification.

## REFERRAL AGENCIES

The referral agency for the application is:

Referral Agency	Referral Matter
State Assessment and Referral Agency (SARA) Far North Queensland Regional Office PO Box 2358 CAIRNS QLD 4870 Ph: 07 4037 3214	Schedule 10, Part 9, Division 4, Subdivision 2, Table 4
Email: CairnsSARA@dasilgp.qld.gov.au MyDAS2 online referrals: <a href="https://prod2.dev-assess.qld.gov.au/suite/">https://prod2.dev-assess.qld.gov.au/suite/</a>	Schedule 10, Part 9, Division 4, Subdivision 2, Table 1

Referral Agency response provided in Attachment 2.

## FURTHER DEVELOPMENT PERMITS REQUIRED

- Development Permit for Plumbing and Drainage Work
- Development Permit for Building Work.
- Development Permit for Operational Works

## OTHER REQUIRMENTS UNDER SECTION 43 OF THE PLANNING REGULATION 2017

Not Applicable

## APPROVED PLANS AND SPECIFICATIONS

The approved plans are attached to this Decision Notice (Attachment 3)

## RIGHTS OF APPEAL


You are entitled to appeal against this decision. A copy of the relevant appeal provisions from the Planning Act 2016 is attached (Attachment 5).

## OTHER DETAILS

You are further advised that the truth and accuracy of the information provided in the application form and accompanying information is relied on when assessing and deciding this application. If you find an inaccuracy in any of the information provided above or have a query or need to seek clarification about any of these details, please contact Torres Shire Council on (07) 4069 1336.

## DELEGATED PERSON

Name: Dalassa Yorkston

Signature: 

Date: 19.06.2024

Enc. **Attachment 1** – Conditions imposed by the Assessment Manager  
**Attachment 2** – Conditions imposed by a Referral Agency  
**Attachment 3** – Approved Plans

**Attachment 4** – Notice about a Decision Notice

**Attachment 5** – Extract of Appeal Provisions (Chapter 6, Part 1 and Schedule 1 of the *Planning Act 2016*).

## **CONDITIONS IMPOSED BY THE ASSESSMENT MANAGER**

### **PART 1 – RECONFIGURING A LOT – CONDITIONS OF APPROVAL**

#### **1.0 PARAMETERS OF APPROVAL**

1.1 The Developer is responsible for ensuring compliance with this development approval and the conditions of the approval by an employee, agent, contractor, or invitee of the Developer at all times unless otherwise stated.

*Timing: At all times.*

1.2 Where these conditions refer to “TSC” in relation to requiring Torres Shire Council to approve or be satisfied as to any matter, or conferring on the TSC a function, power or discretion, that role of the TSC may be fulfilled in whole or in part by a delegate appointed for that purpose by TSC.

*Timing: At all times.*

1.3 The developer is required to have repaired any damage to existing infrastructure that may have occurred during any works carried out associated with the development. To the extent the damage is deemed to create a hazard to the community, it must be repaired immediately.

*Timing: At all times.*

1.4 Unless otherwise stated, all works must be designed, constructed, and maintained in accordance with the relevant TSC policies, guidelines, standards, and the FNQROC Development Manual.

*Timing: At all times.*

1.5 The cost of all works associated with the development and construction of the development including services, facilities and/or public utility alterations required are met at no cost to the Council or relevant utility provider, unless otherwise stated in a development condition.

*Timing: At all times.*

1.6 All development conditions contained in this development approval about *infrastructure* under Chapter 4 of the *Planning Act 2016* (the Act), should be read as being non-trunk infrastructure conditioned under section 145 of the Act, unless otherwise stated.

*Timing: At all times*

#### **2.0 APPROVED PLANS AND DOCUMENTS**

2.1 The approved development must be completed and maintained generally in accordance with the approved plans and documents, except where amended by the conditions of this permit.

Sheet No.	Document Name	Revision	Date	Drawn by
WD-02.2	Proposed Reconfiguration	6	27/03/2024	OlyHomes

WD-02.6	Proposed Reconfiguration with easements	5	21/02/2024	OlyHomes
144-038-SK01	Engineering Report – Supporting Drawing	5	05.04.24	CivilWalker Consulting Engineers
144-038-SK05	Engineering Report – Supporting Drawing - Miscellaneous Detail	2	05.04.24	CivilWalker Consulting Engineers
144-038-001R	Engineering Report	C	November 2023	CivilWalker Consulting Engineers

*Timing: At all times.*

- 2.2 Where there is any conflict between the conditions of this approval and the details shown on the approved plans and documents, the conditions of approval must prevail.

### 3.0 EASEMENTS

- 3.1 Easements must be provided in accordance with the approved plan of development.

*Timing: At the time of registration of the Plan of Survey and at all times.*

- 3.2 A copy of the easement documentation must be provided to Council prior to Council endorsement of the Survey Plan.

*Timing: Prior to Council endorsement of the Survey Plan.*

- 3.3 All services must be contained within the designated easement or within the respective lot boundary. In any instance where existing services are not wholly contained with the proposed lot boundary the existing services must be relocated or contained within required easements.

*Timing: Prior to Council endorsement of the Survey Plan and at all times.*

### 4.0 STORMWATER DRAINAGE

- 4.1 All stormwater drainage must be discharged to an approved legal point of discharge.

*Timing: At all times.*

- 4.2 Any site works must not adversely affect flooding or drainage characteristics of properties that are upstream, downstream, or adjacent to the development site.

*Timing: At all times.*

- 4.3 Design and construct all stormwater drainage works to ensure future development on the Chester Street lot can discharge stormwater to a legal point of discharge being Douglas Street. The works must be in accordance with the approved engineering reports and drawings, FNQROC Development Manual, Queensland Urban Drainage Manual (QUDM) and the provisions of a Development Permit for Operational Work (Engineering Work – Stormwater Drainage Works). Detailed design drawings of all stormwater infrastructure required as a result of the development are to be provided with the first application for a Development Permit for Operational Works.

*Timing: Prior to the endorsement of the survey plan.*

## **5.0 WATER SUPPLY**

- 5.1 Connect Chester Street lot to Council's reticulated water supply network. The works must be in accordance with the FNQROC Development Manual and the provisions of a Development Permit for Operational Work (Engineering Work – Water supply).

*Timing: Prior to the endorsement of the survey plan.*

## **6.0 OPERATIONAL WORK – STORMWATER AND WATER INFRASTRUCTURE WORKS**

- 6.1 All engineering drawings/specifications, design and construction works must be approved, supervised and certified by a Registered Professional Engineer of Queensland (RPEQ).

- 6.2 Obtain a Development Permit for Operational Work for the stormwater works and connection to water infrastructure for the Chester Street lot.

*Timing: Prior to the commencement of any construction works required by this development.*

## **7.0 SEWERAGE CONNECTION**

- 7.1 Connect all lots to Council's reticulated sewerage network.

*Timing: Prior to the commencement of use.*

## **8.0 SITE WORKS, EROSION AND SEDIMENT CONTROL**

- 8.1 Site works must be constructed such that they do not, at any time, in any way restrict, impair, or change the natural flow of runoff water, or cause a nuisance or worsening to adjoining properties or infrastructure.

*Timing: Prior to the commencement of any construction works required by this development.*

- 8.2 Prepare and implement an Erosion and Sediment Control Strategy (ESCS) in accordance with the FNQROC Development Manual as it relates to the construction phase. The ESCS must consider erosion control and slope stability measures to be implemented during all stages of construction. The ESCS must be available for inspection by TSC officers during the construction phase.

*Timing: Prior to the commencement of any construction works required by this development.*

- 8.3 Implement the ESCS for the duration of the construction phase and until such time all exposed soils areas are permanently stabilised (for example, turfed, hydro mulched, concreted, or landscaped).

*Timing: Prior to the commencement of any construction works required by this development.*

## **9.0 ELECTRICITY & TELECOMMUNICATIONS**

- 9.1 Electricity and telecommunication services must be provided to each lot, or arrangements made in accordance with the standards and requirements of the relevant service provider.

*Timing: Prior to Council endorsement of the Survey Plan.*

- 9.2 Evidence must be provided confirming all services and infrastructure are wholly contained within the boundary of the proposed new lots.

*Timing: Prior to Council endorsement of the Survey Plan.*

## **10.0 AMENITY AND ENVIRONMENTAL HEALTH**

- 10.1 Undertake the approved development so there is no environmental nuisance or detrimental effect on any surrounding land uses and activities by reason of the emission of noise, vibration, odour, fumes, smoke, vapour, steam soot, ash, wastewater, waste products, oil or otherwise.

*Timing: At all times.*

## **11.0 COMPLIANCE**

- 11.1. All relevant conditions of this development permit must be complied with prior to the Plan of Survey being submitted to Council for endorsement.

## **12.0 OUTSTANDING CHARGES**

- 12.1 All rates, service charges, interest and other charges levied on the land are to be paid prior to Council endorsement of the Plan of Survey.

## **B. ASSESSMENT MANAGER (COUNCIL) ADVISORY NOTES – RECONFIGURING A LOT**

1. This approval, granted under the provisions of the Planning Act 2016, shall lapse four (4) years from the day the approval takes effect in accordance with the relevant provisions of s85 of the Planning Act 2016.
2. Prior to commencing any construction activities, the applicant/developer will be required to obtain further development permits for operational works, building work, and plumbing and drainage work, as required under relevant legislation for this work.
3. This approval does not negate the requirement for compliance with all other relevant Local Laws and other statutory requirements.
4. No building materials or the like are to be stored on the footpath unless an appropriate approval from Council is obtained, including the payment of associated fees.
5. All building site managers must take all action necessary to ensure building materials and/or machinery on construction sites are secured immediately following the first potential cyclone warning and that relevant emergency telephone contacts are provided to Council Officers, prior to Commencement of Works.
6. The Environmental Protections Act 1994 states a person must not carry out any activity that causes, or is likely to cause, environmental harm unless the person takes all reasonable and practicable measures to prevent or minimise the harm. Environmental harm includes environmental nuisance. In this regard, persons and entities, involved in civil, earthworks and construction phases of this development, are to adhere to their 'general environmental duty' to minimise the risk of causing environmental harm.
7. Environmental harm is defined by the Act as any adverse effect, or potential adverse effect whether temporary or permanent and of whatever magnitude, duration or frequency on an environmental



value and includes environmental nuisance. Therefore, no person should cause any interference with the environment or amenity of the area by reason of the emission of noise, vibration, smell, fumes, smoke vapour, steam, soot, ash, dust, wastewater, waste products, grit, sediment, oil or otherwise, or cause hazards likely in the opinion of the Council.

8. This development approval does not authorise any activity that may harm Aboriginal and Torres Strait Islander cultural heritage. It is also advised that any land use activities must comply with the Aboriginal Cultural Heritage Act 2003 or the Torres Strait Islander Heritage Act 2003.
9. The Commonwealth *Environment Protection and Biodiversity Conservation Act 1999* applies to action that has, will have or is likely to have a significant impact on matters of national environmental significance. Further information on the EPBC Act can be obtained from the Department of Agricultural, Water and the Environment website <https://www.environment.gov.au/epbc/about>

## **PART B – MATERIAL CHANGE OF USE – CONDITIONS OF APPROVAL**

### **1.0 PARAMETERS OF APPROVAL**

- 1.1 The Developer is responsible for ensuring compliance with this development approval and the conditions of the approval by an employee, agent, contractor, or invitee of the Developer at all times unless otherwise stated.

*Timing: At all times.*

- 1.2 Where these conditions refer to “TSC” in relation to requiring Torres Shire Council to approve or be satisfied as to any matter, or conferring on the TSC a function, power or discretion, that role of the TSC may be fulfilled in whole or in part by a delegate appointed for that purpose by TSC.

*Timing: At all times.*

- 1.3 The cost of all works associated with the development and construction of the development including services, facilities and/or public utility alterations required are met at no cost to the Council or relevant utility provider, unless otherwise stated in a development condition.

*Timing: At all times.*

- 1.4 The developer is required to have repaired any damage to existing infrastructure that may have occurred during any works carried out associated with the development. To the extent the damage is deemed to create a hazard to the community, it must be repaired immediately.

*Timing: At all times.*

- 1.5 Unless otherwise stated, all works must be designed, constructed, and maintained in accordance with the relevant Council policies, guidelines, and standards, and the FNQROC Development Manual.

*Timing: At all times.*

- 1.6 All engineering drawings/specifications, design and construction works must comply with the requirements of the relevant Australian Standards and must be approved, supervised, and certified by a Registered Professional Engineer of Queensland (RPEQ).

*Timing: At all times.*

- 1.7 All development conditions contained in this development approval about *infrastructure* under Chapter 4 of the *Planning Act 2016* (the Act), should be read as being non-trunk infrastructure conditioned under section 145 of the Act, unless otherwise stated.

*Timing: At all times*

### **2.0 APPROVED PLANS AND DOCUMENTS**

- 2.1 The approved development must be completed and maintained generally in accordance with the approved plans and documents, except where amended by the conditions of this permit.

Sheet No	Document Name	Revision	Date	Drawn by
WD-01	Cover Sheet	6	27/03/2024	OlyHomes
WD-02.1	Site Plan	6	27/03/2024	OlyHomes
WD-02.3	Site Plan Details	6	27/03/2024	OlyHomes

Sheet No	Document Name	Revision	Date	Drawn by
WD-02.3	Site Plan – Tree to be removed	5	21/02/2024	OlyHomes
WD-02.4	Site Plan Structures	6	27/03/2024	OlyHomes
WD-02.5	Site Elevations	5	21/02/2024	OlyHomes
WD-03.1	Seaview Floor Plan (Typical)	6	27/03/2024	OlyHomes
WD-04	Seaview Elevations (Typical)	6	27/03/2024	OlyHomes
WD-13.1	Accessible Units Floor Plan	6	27/03/2024	OlyHomes
WD-14	Accessible Units Elevations	6	27/03/2024	OlyHomes
WD-24.1	Studio Units Floor Plan	6	27/03/2024	OlyHomes
WD-25	Studio Units Elevations	6	27/03/2024	OlyHomes
WD-20	Douglas Street Carport Details	5	21/02/2024	OlyHomes
144-038-SK02	Swept Path Analysis	1	11.03.24	CivilWalker Consulting Engineers
144-038-SK03	Swept Path Analysis	1	11.03.24	CivilWalker Consulting Engineers
144-038-SK04	Swept Path Analysis	1	11.03.24	CivilWalker Consulting Engineers
I44-038-001R	Engineering Report	C	November 2023	CivilWalker Consulting Engineers

**Timing:** At all times.

- 2.2 Where there is any conflict between the conditions of this approval and the details shown on the approved plans and documents, the conditions of approval must prevail.

### 3.0 STAGING

- 3.1 The survey plan for the Reconfiguring a Lot approval forming Part A of this approval, must be registered prior to the commencement of use.

**Timing:** Prior to the commencement of use.

### 4.0 PARKING AND ACCESS

- 4.1 A minimum of ten (10) car parking spaces must be provided on site. Car parking spaces and internal driveways must be located generally in accordance with the approved plan of development and be concrete or bitumen sealed, comply with Australian Standard 2890 – Parking Facilities and be constructed to the requirements of the FNQROC Development Manual.

**Timing:** At all times.

- 4.2 A minimum of two (2) car parking spaces must be clearly designated as visitor spaces and kept available for use by visitors.

**Timing:** *At all times.*

- 4.3 The parking spaces must be kept available for use and must not be used for the storage of goods at any time.

**Timing:** *At all times.*

- 4.4 Access to the proposed development must be provided in accordance with the approved plans of development.

**Timing:** *At all times.*

## 5.0 STORMWATER DRAINAGE

- 5.1 All stormwater drainage must be discharged to an approved legal point of discharge being Douglas Street.

**Timing:** *At all times.*

- 5.2 Site works must not adversely affect flooding or drainage characteristics of properties that are upstream, downstream, or adjacent to the development site.

**Timing:** *At all times.*

- 5.3 Design and construct all stormwater drainage works in accordance with the approved engineering reports and drawings, FNQROC Development Manual and the Queensland Urban Drainage Manual (QUDM).

**Timing:** *Prior to commencement of work and at all times.*

## 6.0 WATER AND SEWERAGE

- 6.1 Connect the development to Council's reticulated water network. Sufficient reticulated water capacity must be provided for domestic and firefighting purposes. The developer will be responsible for sub-metering.

**Timing:** *Prior to the commencement of the use and at all times thereafter.*

- 6.2 Connect the development to Council's reticulated sewerage network.

**Timing:** *Prior to the commencement of the use and at all times thereafter.*

- 6.3 Design and construct all sewerage and water works in accordance with the approved plans, FNQROC Development Manual, Water Supply (Safety and Reliability) Act 2008 and the Plumbing and Drainage Act 2018.

**Timing:** *Prior to the commencement of the use and at all times thereafter.*

- 6.4 All redundant sewerage and water infrastructure is to be removed, including but not limited to pipes and connection points.

**Timing:** *Prior to the commencement of the use.*

## 7.0 LANDSCAPING AND FENCING

- 7.1 A landscape and fencing plan must be submitted to Council for approval. The landscaping plan must include a landscape garden a minimum width of 1 metre along the Douglas Street frontage, excluding the access driveway. The landscaping must include suitable native tree and plant species.

*Timing: Prior to the commencement of use and at all times thereafter.*

- 7.2 The boundary fencing must be designed and constructed to ensure the fencing does adversely interfere with the conveyance of stormwater

*Timing: Prior to commencement of use and at all times thereafter.*

- 7.3 The landscaping and fencing must be constructed and maintained in accordance with the approved plan.

*Timing: Prior to commencement of use and at all times thereafter.*

## **8.0 WASTE STORAGE**

- 8.1 Store all waste within the designated waste storage area as detailed on the approved plan of development. The waste storage area must be:

- (i) Designed and located to not cause nuisance to neighbouring properties;
- (ii) Screened from any road frontage or adjoining property;
- (iii) Of a sufficient size to accommodate required number and type of bins

*Timing: At all times.*

## **9.0 ELECTRICITY & TELECOMMUNICATIONS**

- 9.1 Connect the development to reticulated electricity supply and telecommunications to the standard of the relevant service provider.

*Timing: Prior to the commencement of the use and at all times thereafter.*

## **10.0 AMENITY – GENERAL**

- 10.1 Install and maintain suitable screening to all air conditioning and plant and service facilities located on the top or external face of the building and that are visible from adjoining properties and/or the road reserve. The screening structures must be constructed from materials that are consistent with materials used elsewhere on the façade of the building.

*Timing: At all times.*

## **11.0 AMENITY - LIGHTING**

- 11.1 Maintain outdoor lighting to comply with AS4282:1997 - Control of the obtrusive effects of outdoor lighting.

*Timing: At all times.*

## **12.0 AMENITY AND ENVIRONMENTAL HEALTH**

- 12.1 Undertake the approved development so there is no environmental nuisance or detrimental effect on any surrounding land uses and activities by reason of the emission of noise, vibration, odour, fumes, smoke, vapour, steam soot, ash, wastewater, waste products, oil or otherwise.

*Timing: At all times.*

### **13.0 SITE WORKS AND EROSION AND SEDIMENT CONTROL**

- 13.1 Site works must be constructed such that they do not, at any time, in any way restrict, impair, or change the natural flow of runoff water, or cause a nuisance or worsening to adjoining properties or infrastructure.

*Timing: Prior to the commencement of any construction works required by this development.*

- 13.2 Prepare and implement an Erosion and Sediment Control Strategy (ESCS) in accordance with the FNQROC Development Manual. The ESCS must consider erosion control and slope stability measures to be implemented during all stages of construction. The ESCS must be available for inspection by TSC officers during the construction phase.

*Timing: Prior to the commencement of any construction works required by this development.*

- 13.3 Implement the ESCS for the duration of the construction phase and until such time all exposed soils areas are permanently stabilised (for example, turfed, hydro mulched, concreted, or landscaped).

*Timing: Prior to the commencement of any construction works required by this development.*

### **14.0 CONSTRUCTION AND ENVIRONMENTAL MANAGEMENT PLAN**

- 14.1 The applicant must submit a Construction and Environmental Management Plan (CEMP) to Council for review and approval. The CEMP must be prepared by a suitably qualified professional and adequately demonstrate how:

- (i) Traffic and parking generated during construction activities and works will be managed to minimise impacts on the surrounding area;
- (ii) Best practice waste management strategies during the construction phase; and
- (iii) Mitigate potential adverse impacts associated with dust, noise and lighting emissions, sediment, and stormwater run-off.

*Timing: Prior to the commencement of construction and at all times during construction.*

### **B. ASSESSMENT MANAGER (COUNCIL) ADVISORY NOTES – MATERIAL CHANGE OF USE**

1. This approval, granted under the provisions of *the Planning Act 2016*, shall lapse six (6) years from the day the approval takes effect in accordance with the relevant provisions of s85 of the *Planning Act 2016*.
2. Prior to commencing any construction activities, the applicant/developer will be required to obtain further development permits for building work, and plumbing and drainage work, as required under relevant legislation for this work.
3. Infrastructure Charges must be paid to Council as indicated on the Infrastructure Charges Notice at the rate applicable at the time of payment.
4. This approval does not negate the requirement for compliance with all other relevant Local Laws and other statutory requirements.
5. No building materials or the like are to be stored on the footpath unless an appropriate approval from Council is obtained, including the payment of associated fees.
6. All building site managers must take all action necessary to ensure building materials and/or machinery on construction sites are secured immediately following the first potential cyclone warning

and that relevant emergency telephone contacts are provided to Council Officers, prior to Commencement of Works.

7. The *Environmental Protection Act 1994* states a person must not carry out any activity that causes, or is likely to cause, environmental harm unless the person takes all reasonable and practicable measures to prevent or minimise the harm. Environmental harm includes environmental nuisance. In this regard, persons and entities, involved in civil, earthworks and construction phases of this development, are to adhere to their 'general environmental duty' to minimise the risk of causing environmental harm.
8. Environmental harm is defined by the Act as any adverse effect, or potential adverse effect whether temporary or permanent and of whatever magnitude, duration or frequency on an environmental value and includes environmental nuisance. Therefore, no person should cause any interference with the environment or amenity of the area by reason of the emission of noise, vibration, smell, fumes, smoke vapour, steam, soot, ash, dust, wastewater, waste products, grit, sediment, oil or otherwise, or cause hazards likely in the opinion of the Council.
9. This development approval does not authorise any activity that may harm Aboriginal and Torres Strait Islander cultural heritage. It is also advised that any land use activities must comply with the *Aboriginal Cultural Heritage Act 2003* or the *Torres Strait Islander Heritage Act 2003*.
10. The Commonwealth *Environment Protection and Biodiversity Conservation Act 1999* applies to action that has, will have or is likely to have a significant impact on matters of national environmental significance. Further information on the EPBC Act can be obtained from the Department of Agricultural, Water and the Environment website <https://www.environment.gov.au/epbc/about>

## CONDITIONS IMPOSED BY A REFERRAL AGENCY

Attached under separate cover (this page has been intentionally left blank)





SARA reference: 2401-38864 SRA  
 Council reference: IDAS 23/25  
 Applicant reference: 23-1005

7 March 2024

Chief Executive Officer  
 Torres Shire Council  
 PO Box 171  
 THURSDAY ISLAND QLD 4875  
 admin@torres.qld.gov.au

Attention: Phil Turner

Dear Sir/Madam

## **SARA referral agency response—Boundary Realignment and Multiple Dwelling at 142 Douglas Street and 6 Chester Street, Thursday Island**

(Referral agency response given under section 56 of the *Planning Act 2016*)

The development application described below was confirmed as properly referred by the State Assessment and Referral Agency (SARA) on 1 February 2024.

### **Response**

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Outcome:	Referral agency response – with conditions
Date of response:	7 March 2024
Conditions:	The conditions in <b>Attachment 1</b> must be attached to any development approval
Advice:	Advice to the applicant is in <b>Attachment 2</b>
Reasons:	The reasons for the referral agency response are in <b>Attachment 3</b>

### **Development details**

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Description:	Development permit	Reconfiguring a lot (boundary realignment) and material change of use for multiple dwelling (8 units)
SARA role:	Referral agency	
SARA trigger:	<b>Schedule 10, Part 9, Division 4, Subdivision 2, Table 1</b>	(Planning

Regulation 2017) – Reconfiguring a lot near a state-controlled road

**Schedule 10, Part 9, Division 4, Subdivision 2, Table 4** (Planning Regulation 2017) – Material change of use near a state-controlled road

SARA reference:	2401-38864 SRA
Assessment manager:	Torres Shire Council
Street address:	142 Douglas Street and 6 Chester Street, Thursday Island
Real property description:	Lot 2 on RP744714 and Lot 1 on RP700579
Applicant name:	The Uniting Church of Australia Property Trust
Applicant contact details:	Urban Sync PO Box 2970 CAIRNS QLD 4870 admin@urbansync.com.au
State-controlled road access permit:	<p>This referral included an application for a road access location, under section 62A(2) of <i>Transport Infrastructure Act 1994</i>. Below are the details of the decision:</p> <ul style="list-style-type: none"> <li>• Approved</li> <li>• Reference: TMR24-041825</li> <li>• Date: 4 March 2024</li> </ul> <p>If you are seeking further information on the road access permit, please contact Mr Ronald Kaden, Technical Officer (Development Control) at the Department of Transport and Main Roads by email at <a href="mailto:cairns.office@tmr.qld.gov.au">cairns.office@tmr.qld.gov.au</a> or on (07) 4045 7151.</p>
<i>Human Rights Act 2019</i> considerations:	<p>Section 58 of the <i>Human Rights Act 2019</i> specifies required conduct for public entities when acting or making a decision. Sections 15 – 37 of the <i>Human Rights Act 2019</i> identifies the human rights a public entity must consider in making a decision.</p> <p>This decision does not limit the above identified human rights.</p>

## Representations

An applicant may make representations to a concurrence agency, at any time before the application is decided, about changing a matter in the referral agency response (s.30 Development Assessment Rules). Copies of the relevant provisions are in **Attachment 4**.

A copy of this response has been sent to the applicant for their information.

For further information please contact Anthony Westbury, Planning Officer, on 40373215 or via email CairnsSARA@dasilgp.qld.gov.au who will be pleased to assist.

Yours sincerely

A handwritten signature in black ink, appearing to read 'Brett Nancarrow', written in a cursive style.

Brett Nancarrow  
Manager (Planning)

cc The Uniting Church of Australia Property Trust, admin@urbansync.com.au

enc Attachment 1 - Referral agency conditions  
Attachment 2 - Advice to the applicant  
Attachment 3 - Reasons for referral agency response  
Attachment 4 - Representations about a referral agency response  
Attachment 5 - Documents referenced in conditions

## Attachment 1—Referral agency conditions

(Under section 56(1)(b)(i) of the *Planning Act 2016* the following conditions must be attached to any development approval relating to this application) (Copies of the documents referenced below are found at **Attachment 5**)

No.	Conditions	Condition timing
<b>Reconfiguring a lot</b>		
Schedule 10, Part 9, Division 4, Subdivision 2, Table 1 – Reconfiguring a lot near a state-controlled road—The chief executive administering the <i>Planning Act 2016</i> nominates the Director-General of the Department of Transport and Main Roads to be the enforcement authority for the development to which this development approval relates for the administration and enforcement of any matter relating to the following conditions:		
1.	<p>(a) Stormwater management of the development must not cause worsening to the operating performance of the state-controlled road, such that any works on the land must not:</p> <ul style="list-style-type: none"> <li>(i) create any new discharge points for stormwater runoff onto the state-controlled road;</li> <li>(ii) concentrate or increase the velocity of flows to state-controlled road;</li> <li>(iii) interfere with and/or cause damage to the existing stormwater drainage on the state-controlled road; and</li> <li>(iv) surcharge any existing culvert or drain on the state-controlled road.</li> </ul> <p>(b) Submit RPEQ certification with supporting documentation to Cairns Corridor Management Unit at <a href="mailto:Far.North.Queensland.IDAS@tmr.qld.gov.au">Far.North.Queensland.IDAS@tmr.qld.gov.au</a> within the Department of Transport and Main Roads, confirming that the development has been designed in accordance with part (a) of this condition.</p>	<p>(a) At all times.</p> <p>(b) Prior to obtaining development approval for operational work.</p>
2.	<p>(a) The road access location is to be located generally in accordance with TMR Layout Plan (669 – 3.91km), prepared by Queensland Government Transport and Main Roads, dated 4/03/2024, Reference TMR24-41825, Issue A.</p> <p>(b) Road access works comprising of a commercial / industrial vehicular crossover must be provided at the road access location.</p> <p>(c) The road access works must be designed and constructed in accordance with Far North Queensland Regional Organisation of Councils (FNQROC) Standard Drawing S1015 - Access Crossovers, dated 27/08/20, Revision E.</p>	<p>(a) At all times.</p> <p>(b) and (c) Prior to submitting the Plan of Survey to the local government for approval.</p>
<b>Material change of use</b>		
Schedule 10, Part 9, Division 4, Subdivision 2, Table 4 – Material change of use of premises near a state-controlled road—The chief executive administering the <i>Planning Act 2016</i> nominates the Director-General of the Department of Transport and Main Roads to be the enforcement authority for the development to which this development approval relates for the administration and enforcement of any matter relating to the following condition(s):		

3.	<p>(a) Stormwater management of the development must not cause worsening to the operating performance of the state-controlled road, such that any works on the land must not:</p> <ul style="list-style-type: none"> <li>(i) create any new discharge points for stormwater runoff onto the state-controlled road;</li> <li>(ii) concentrate or increase the velocity of flows to state-controlled road;</li> <li>(iii) interfere with and/or cause damage to the existing stormwater drainage on the state-controlled road; and</li> <li>(iv) surcharge any existing culvert or drain on the state-controlled road.</li> </ul> <p>(b) Submit RPEQ certification with supporting documentation to Cairns Corridor Management Unit at <a href="mailto:Far.North.Queensland.IDAS@tmr.qld.gov.au">Far.North.Queensland.IDAS@tmr.qld.gov.au</a> within the Department of Transport and Main Roads, confirming that the development has been designed in accordance with part (a) of this condition.</p>	<p>(a) At all times.</p> <p>(b) Prior to obtaining development approval for operational work or building work whichever occurs first.</p>
4.	<p>(a) The road access location is to be located generally in accordance with TMR Layout Plan (669 – 3.91km), prepared by Queensland Government Transport and Main Roads, dated 4/03/2024, Reference TMR24-41825, Issue A.</p> <p>(b) Road access works comprising of a commercial / industrial vehicular crossover must be provided at the road access location.</p> <p>(c) The road access works must be designed and constructed in accordance with Far North Queensland Regional Organisation of Councils (FNQROC) Standard Drawing S1015 - Access Crossovers, dated 27/08/20, Revision E.</p>	<p>(a) At all times.</p> <p>(b) and (c) Prior to the commencement of use.</p>

## Attachment 2—Advice to the applicant

<b>General advice</b>	
1.	Terms and phrases used in this document are defined in the <i>Planning Act 2016</i> its regulation or the State Development Assessment Provisions (SDAP) v3.0. If a word remains undefined it has its ordinary meaning.
2.	<p><b>Transport noise corridor</b></p> <p>Mandatory Part (MP) 4.4 of the Queensland Development Code (QDC) commenced on 1 September 2010 and applies to building work for the construction or renovation of a residential building in a designated <i>transport noise corridor</i>. MP4.4 seeks to ensure that the habitable rooms of Class 1, 2, 3 and 4 buildings located in a <i>transport noise corridor</i> are designed and constructed to reduce transport noise. <i>Transport noise corridor</i> means land designated under Chapter 8B of the <i>Building Act 1975</i> as a <i>transport noise corridor</i>. Information about <i>transport noise corridors</i> is available at state and local government offices.</p> <p>A free online search tool can be used to find out whether a property is located in a designated <i>transport noise corridor</i>. This tool is available at the State Planning Policy Interactive Mapping System website: <a href="https://spp.dsdip.esriaustraliaonline.com.au/geoviewer/map/planmaking">https://spp.dsdip.esriaustraliaonline.com.au/geoviewer/map/planmaking</a> and allows searches on a registered lot number and/or property address to determine whether and how the QDC applies to the land. Transport Noise Corridors are located under Information Purposes within Transport Infrastructure of the State Planning Policy (SPP) mapping system.</p>
3.	<p><b>Road works approval</b></p> <p>Under section 33 of the <i>Transport Infrastructure Act 1994</i>, written approval is required from the DTMR to carry out road works on a state-controlled road.</p> <p>Please contact DTMR on 4045 7144 to make an application for road works approval.</p> <p>This approval must be obtained prior to commencing any works on the state-controlled road reserve. The approval process may require the approval of engineering designs of the proposed works, certified by a Registered Professional Engineer of Queensland (RPEQ).</p> <p>Please contact DTMR as soon as possible to ensure that gaining approval does not delay construction.</p>

## **Attachment 3—Reasons for referral agency response**

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(Given under section 56(7) of the *Planning Act 2016*)

### **The reasons for the SARA decision are:**

The proposed development, with conditions, complies with the relevant provisions of State code 1: Development in a state-controlled road environment as follows:

- The proposed development is unlikely to compromise the safety, function, and efficiency of Douglas Street (Thursday Island Road), a state-controlled road.
- An upgraded vehicle access crossover to be constructed to Douglas Street, will ensure compliance with the Department of Transport and Main Roads' current access standards and requirements.
- Increased stormwater and drainage flow is appropriately managed to avoid adverse impacts to the state-controlled road.
- The increased traffic generation by the proposed development will be low and can be adequately accommodated by the changed access to Douglas Street.

### **Material used in the assessment of the application:**

- the development application material and submitted plans
- *Planning Act 2016*
- Planning Regulation 2017
- the State Development Assessment Provisions (version 3.0)
- the Development Assessment Rules
- SARA DA Mapping system
- State Planning Policy mapping system
- *Human Rights Act 2019*

## **Attachment 4— Representations about a referral agency response**

(page left intentionally blank – attached separately)



## **Attachment 5—Documents referenced in conditions**

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(page left intentionally blank – attached separately)

Our ref TMR24-041825  
Your ref 23-1005  
Enquiries Ronald Kaden



Department of  
**Transport and Main Roads**

4 March 2024

## **Decision Notice – Permitted Road Access Location (s62(1) *Transport Infrastructure Act 1994*)**

**This is not an authorisation to commence work on a state-controlled road<sup>1</sup>**

Development application reference number IDAS 23/25, lodged with Torres Shire Council involves constructing or changing a vehicular access between Lot 1RP700579, 2RP744714, the land the subject of the application, and Thursday Island Road (Douglas Street) (a state-controlled road).

In accordance with section 62A(2) of the *Transport Infrastructure Act 1994* (TIA), this development application is also taken to be an application for a decision under section 62(1) of TIA.

### **Applicant Details**

Name and address The Uniting Church in Australia Property Trust (Q) C/- Urban Sync Pty Ltd  
PO Box 2970  
Cairns QLD 4870

### **Application Details**

Address of Property 142 Douglas Street, Thursday Island QLD 4875  
Real Property Description 1RP700579, 2RP744714  
Aspect/s of Development Development Permit for Material Change of Use for Multiple Dwellings  
Development Permit for Reconfiguration of a Lot for Boundary Realignment

### **Decision (given under section 67 of TIA)**

It has been decided to approve the application, subject to the following conditions:

<b>No.</b>	<b>Conditions of Approval</b>	<b>Condition Timing</b>
1	<b>Proposed Lot 2</b> The Permitted Road Access Location is to be at the north eastern boundary in accordance with: a) TMR Layout Plan (669 - 3.91km) Issue A 04/03/2024	At all times.

<sup>1</sup> Please refer to the further approvals required under the heading 'Further approvals'

No.	Conditions of Approval	Condition Timing
2	Direct access is prohibited between Thursday Island Road and Proposed Lot 2 at any other location other than the Permitted Road Access Location described in Condition 1.	At all times.
3	<p>The use of the permitted road access location is to be restricted to:</p> <p>a) Design vehicles up to a maximum size short towing trailer - Class 2 Medium Length Light Vehicle**</p> <p>Note: ** as described in Austroads Vehicle Classification System</p>	At all times.
4	<p>Road access works comprising a vehicle access to commercial / industrial standard must be constructed and maintained, generally in accordance with:</p> <p>a) FNQROC Standard Drawing S1015 - Access Crossovers</p>	Prior to the commencement of the use of the Road Access Works and to be maintained at all times.

### Reasons for the decision

The reasons for this decision are as follows:

- a) Lot 2 on RP744714 has road frontage and vehicle access via Thursday Island Road (Douglas Street), a state-controlled road.
- b) Lot 1 on RP700579 has road frontage and vehicle access via Chester Street, a local government-controlled road.
- c) Lot 2 on RP744714 currently has a single dwelling.
- d) Lot 2 on RP744714 (Proposed Lot 2) is proposing 8 multiple unit dwellings, all to gain access via Douglas Street.
- e) The submitted site plan for the proposed development indicates the Road access driveway to be at the north eastern boundary.
- f) As the proposed development is seeking a new access and increasing generation, a new section 62 approval is required to be issued by TMR.

Please refer to **Attachment A** for the findings on material questions of fact and the evidence or other material on which those findings were based.

### Information about the Decision required to be given under section 67(2) of TIA

1. There is no guarantee of the continuation of road access arrangements, as this depends on future traffic safety and efficiency circumstances.
2. This decision has been based on the current land use and the historic nature of the access subject to this decision. Be advised that if the land is further developed and/or intensified, the department will reassess the access requirements in accordance with the department's policies at that time to ensure that the road safety and transport efficiency outcomes for the state-controlled road network are maximised. This may or may not require all future access to be provided via the local road network.
3. In accordance with section 70 of the TIA, the applicant for the planning application is bound by this decision. A copy of section 70 is attached as **Attachment B**, as required, for information.

### Further information about the decision

1. In accordance with section 67(7) of TIA, this decision notice:
  - a) starts to have effect when the development approval has effect; and
  - b) stops having effect if the development approval lapses or is cancelled; and
  - c) replaces any earlier decision made under section 62(1) in relation to the land.
2. In accordance with section 485 of the TIA and section 31 of the *Transport Planning and Coordination Act 1994* (TPCA), a person whose interests are affected by this decision may apply for a review of this decision only within 28 days after notice of the decision was given under the TIA. A copy of the review provisions under TIA and TPCA are attached in **Attachment C** for information.
3. In accordance with section 485B of the TIA and section 35 of TPCA a person may appeal against a reviewed decision. The person must have applied to have the decision reviewed before an appeal about the decision can be lodged in the Planning and Environment Court. A copy of the Appeal Provisions under TIA and TPCA is attached in **Attachment C** for information.

### Further approvals

The Department of Transport and Main Roads also provides the following information in relation to this approval:

1. Road Access Works Approval Required – Written approval is required from the department to carry out road works that are road access works (including driveways) on a state-controlled road in accordance with section 33 of the TIA. This approval must be obtained prior to commencing any works on the state-controlled road. The approval process may require the approval of engineering designs of the proposed works, certified by a Registered Professional Engineer of Queensland (RPEQ). Please contact the department to make an application.

If further information about this approval or any other related query is required, Ronald Kaden, Technical Officer (Development Control) should be contacted by email at [cairns.office@tmr.qld.gov.au](mailto:cairns.office@tmr.qld.gov.au) or on (07) 4045 7151.

Yours sincerely



Liliya Yates  
A/Principal Engineer (Civil)

Attachments: Attachment A – Decision evidence and findings  
Attachment B - Section 70 of TIA  
Attachment C - Appeal Provisions  
Attachment D - Permitted Road Access Location Plan

## Attachment A

### Decision Evidence and Findings

Evidence or other material on which findings were based:

<b>Title of Evidence / Material</b>	<b>Prepared by</b>	<b>Date</b>	<b>Reference no.</b>	<b>Version / Issue</b>
TMR Layout Plan (669 - 3.91km)	Queensland Government Transport and Main Roads	04 March 2024	TMR24-41825	A
Site Plan	Oly Homes	16 November 2023	WD-02.1	4
Access Crossovers	FNQROC	27 August 2020	S1015	E
Vehicle Access to state- controlled roads policy	Queensland Government Transport and Main Roads	2019	-	-

## **Attachment B**

### **Section 70 of TIA**

*Transport Infrastructure Act 1994*

Chapter 6 Road transport infrastructure

Part 5 Management of State-controlled roads

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#### **70 Offences about road access locations and road access works, relating to decisions under s 62(1)**

- (1) This section applies to a person who has been given notice under section 67 or 68 of a decision under section 62(1) about access between a State-controlled road and adjacent land.
- (2) A person to whom this section applies must not—
  - (a) obtain access between the land and the State-controlled road other than at a location at which access is permitted under the decision; or
  - (b) obtain access using road access works to which the decision applies, if the works do not comply with the decision and the noncompliance was within the person's control; or
  - (c) obtain any other access between the land and the road contrary to the decision; or
  - (d) use a road access location or road access works contrary to the decision; or
  - (e) contravene a condition stated in the decision; or
  - (f) permit another person to do a thing mentioned in paragraphs (a) to (e); or
  - (g) fail to remove road access works in accordance with the decision.

Maximum penalty—200 penalty units.

- (3) However, subsection (2)(g) does not apply to a person who is bound by the decision because of section 68.

**Attachment C**  
**Appeal Provisions**

*Transport Infrastructure Act 1994*  
Chapter 16 General provisions

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**485 Internal review of decisions**

- (1) A person whose interests are affected by a decision described in schedule 3 (the **original decision**) may ask the chief executive to review the decision.
- (2) The person is entitled to receive a statement of reasons for the original decision whether or not the provision under which the decision is made requires that the person be given a statement of reasons for the decision.
- (3) The *Transport Planning and Coordination Act 1994*, part 5, division 2—
  - (a) applies to the review; and
  - (b) provides—
    - (i) for the procedure for applying for the review and the way it is to be carried out; and
    - (ii) that the person may apply to QCAT to have the original decision stayed.

**485B Appeals against decisions**

- (1) This section applies in relation to an original decision if a court (the appeal court) is stated in schedule 3 for the decision.
- (2) If the reviewed decision is not the decision sought by the applicant for the review, the applicant may appeal against the reviewed decision to the appeal court.
- (3) The *Transport Planning and Coordination Act 1994*, part 5, division 3—
  - (a) applies to the appeal; and
  - (b) provides—
    - (i) for the procedure for the appeal and the way it is to be disposed of; and
    - (ii) that the person may apply to the appeal court to have the original decision stayed.
- (4) Subsection (5) applies if—
  - (a) a person appeals to the Planning and Environment Court against a decision under section 62(1) on a planning application that is taken, under section 62A(2), to also be an application for a decision under section 62(1); and
  - (b) a person appeals to the Planning and Environment Court against a decision under the Planning Act on the planning application.

- (5) The court may order—
  - (a) the appeals to be heard together or 1 immediately after the other; or
  - (b) 1 appeal to be stayed until the other is decided.
- (6) Subsection (5) applies even if all or any of the parties to the appeals are not the same.
- (7) In this section—

**original decision** means a decision described in schedule 3.

**reviewed decision** means the chief executive's decision on a review under section 485.



### **31 Applying for review**

- (1) A person may apply for a review of an original decision only within 28 days after notice of the original decision was given to the person under the transport Act.
- (2) However, if—
  - (a) the notice did not state the reasons for the original decision; and
  - (b) the person asked for a statement of the reasons within the 28 days mentioned in subsection (1)the person may apply within 28 days after the person is given the statement of the reasons.
- (3) In addition, the chief executive may extend the period for applying.
- (4) An application must be written and state in detail the grounds on which the person wants the original decision to be reviewed.

### **32 Stay of operation of original decision**

- (1) If a person applies for review of an original decision, the person may immediately apply for a stay of the decision to the relevant entity.
- (2) The relevant entity may stay the original decision to secure the effectiveness of the review and any later appeal to or review by the relevant entity.
- (3) In setting the time for hearing the application, the relevant entity must allow at least 3 business days between the day the application is filed with it and the hearing day.
- (4) The chief executive is a party to the application.
- (5) The person must serve a copy of the application showing the time and place of the hearing and any document filed in the relevant entity with it on the chief executive at least 2 business days before the hearing.
- (6) The stay—
  - (a) may be given on conditions the relevant entity considers appropriate; and
  - (b) operates for the period specified by the relevant entity; and
  - (c) may be revoked or amended by the relevant entity.
- (7) The period of a stay under this section must not extend past the time when the chief executive reviews the original decision and any later period the relevant entity allows the applicant to enable the applicant to appeal against the decision or apply for a review of the decision as provided under the QCAT Act.
- (8) The making of an application does not affect the original decision, or the carrying out of the original decision, unless it is stayed.

(9) In this section—

**relevant entity** means—

- (a) if the reviewed decision may be reviewed by QCAT—QCAT; or
- (b) if the reviewed decision may be appealed to the appeal court—the appeal court.

### **35 Time for making appeals**

(1) A person may appeal against a reviewed decision only within—

- (a) if a decision notice is given to the person—28 days after the notice was given to the person; or
- (b) if the chief executive is taken to have confirmed the decision under section 34(5)—56 days after the application was made.

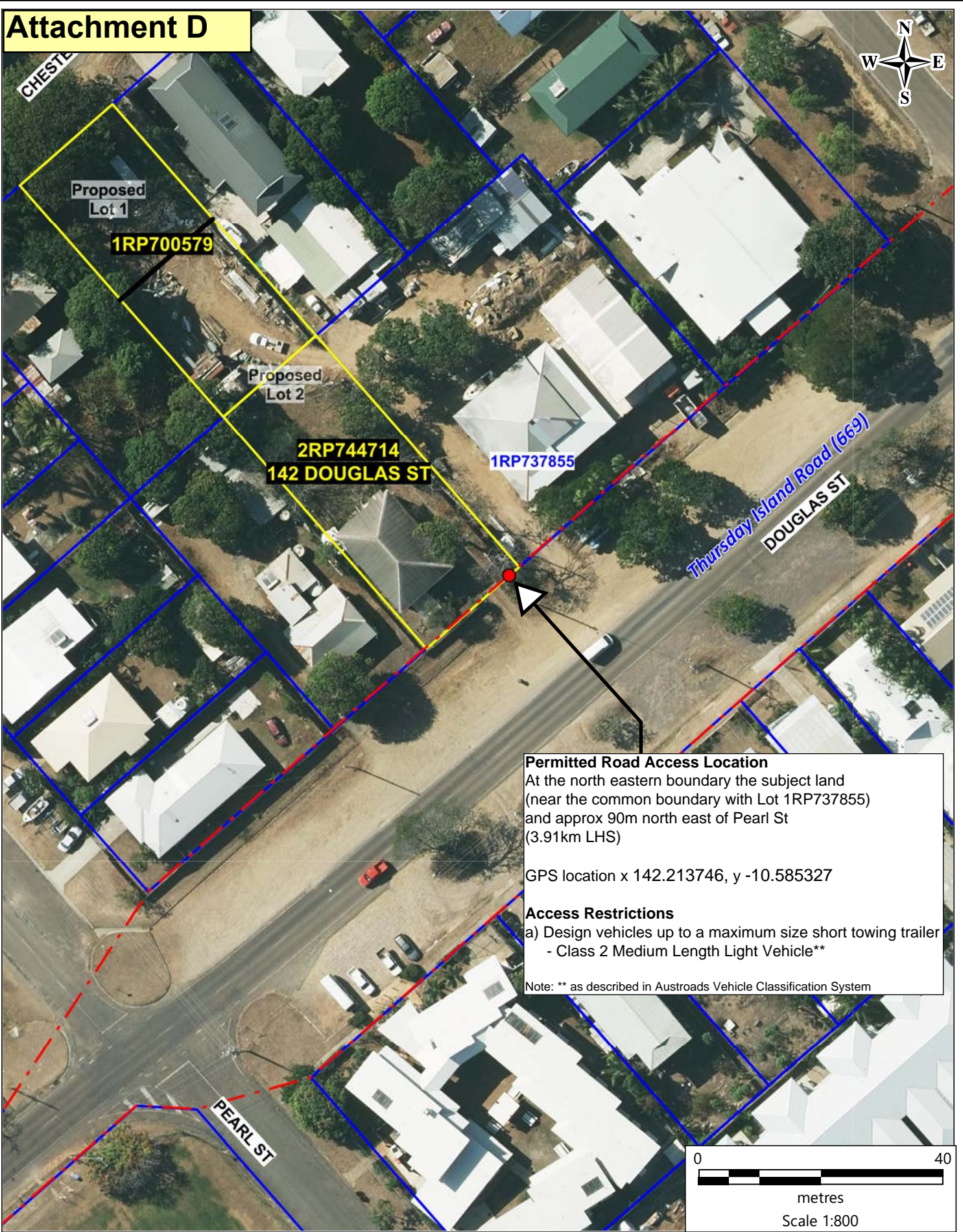
(2) However, if—

- (a) the decision notice did not state the reasons for the decision; and
- (b) the person asked for a statement of the reasons within the 28 days mentioned in subsection (1)(a);

the person may apply within 28 days after the person is given a statement of the reasons.

(3) Also, the appeal court may extend the period for appealing.

# Attachment D

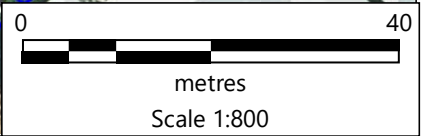


**Permitted Road Access Location**  
 At the north eastern boundary the subject land (near the common boundary with Lot 1RP737855) and approx 90m north east of Pearl St (3.91km LHS)

GPS location x 142.213746, y -10.585327

**Access Restrictions**  
 a) Design vehicles up to a maximum size short towing trailer  
 - Class 2 Medium Length Light Vehicle\*\*

Note: \*\* as described in Austroads Vehicle Classification System



Branch/Unit : <b>Corridor Management / Far North District</b>	
Projection/Datum : Geocentric Datum of Australia (GDA) 2020	
Land parcels	Subject land
Proposed new boundary	
State-controlled road corridor	

## TMR Layout Plan (669 - 3.91km)

Queensland Government Transport and Main Roads		
Plan:	Issue:	Date:
1 / 1	A	4/03/2024
Drawn by:	File ref:	
RPK	TMR24-41825	

© The State of Queensland, 2010 © Pitney Bowes Software Pty Ltd, 2010 © QR Limited, 2010 Based on [Dataset - State Digital Road Network (SDRN)] provided with the permission of Pitney Bowes Software Pty Ltd (Current as at 04 / 10). [Dataset - Rail Centre Line, May 2010] provided with the permission of QR Limited and other state government datasets  
 Disclaimer: While every care is taken to ensure the accuracy of this data, Pitney Bowes Software Pty Ltd and/or the State of Queensland and/or QR Limited makes no representations or warranties about its accuracy, reliability, completeness or suitability for any particular purpose and disclaims all responsibility and all liability (including without limitation, liability in negligence) for all expenses, losses, damages (including indirect or consequential damage) and costs which you might incur as a result of the data being inaccurate or incomplete in any way and for any reason.

## APPROVED PLANS

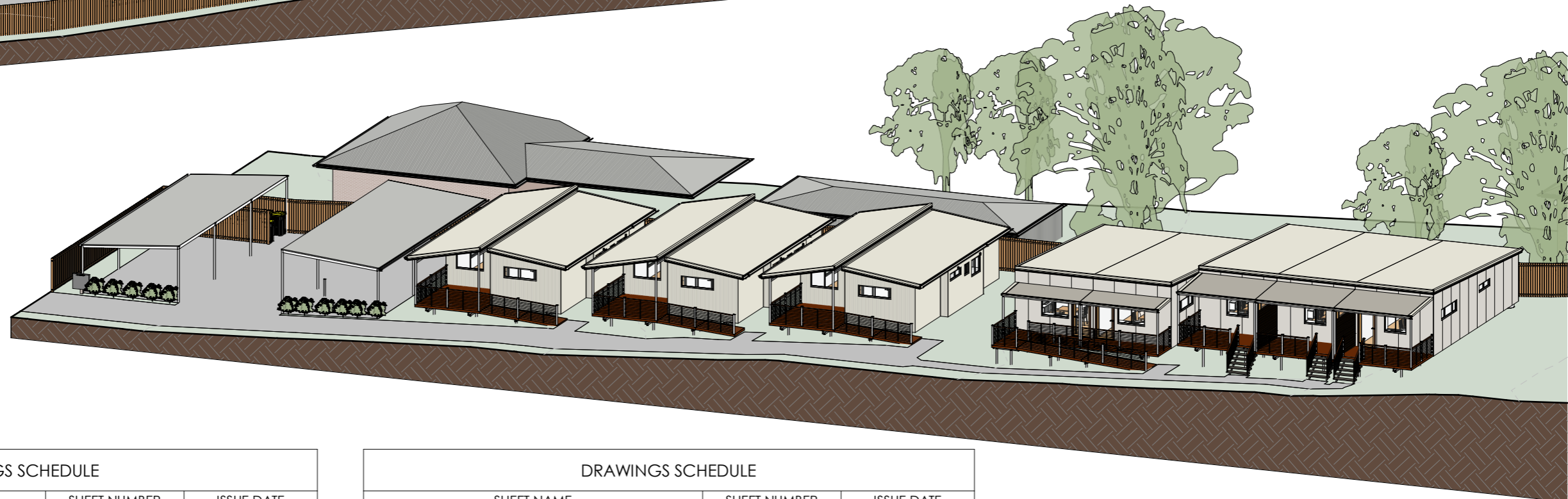
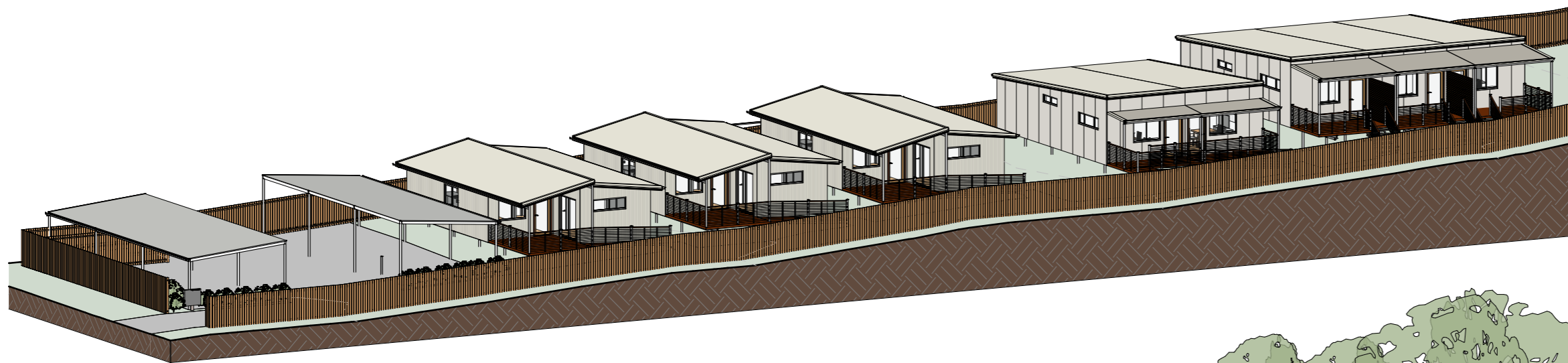
Attached under separate cover (this page has been intentionally left blank)

Development Application: Development Permit for Material Change of Use — Multiple Dwelling and Reconfiguration of a Lot (rearranging the boundary)

Lot details: Lot 1 RP700579 and Lot 2 RP744714

Referred to in Council's Negotiated Decision Notice

Approval Date: 21 June 2024  
Application Number: IDAS 23/25



DRAWINGS SCHEDULE

SHEET NAME	SHEET NUMBER	ISSUE DATE
COVER SHEET	WD-01	27/03/2024
SITE PLAN	WD-02.1	27/03/2024
SURVEY PLAN	WD-02.2	27/03/2024
SITE PLAN DETAILS	WD-02.3	27/03/2024
SITE PLAN STRUCTURES	WD-02.4	27/03/2024
SITE SECTION	WD-02.5	27/03/2024
MAINS ELECTRICAL	WD-02.6	27/03/2024
SEAVIEW FLOOR PLAN (TYPICAL)	WD-03.1	27/03/2024
SEAVIEW BATH & LAUNDRY DETAILS (TYPICAL)	WD-03.2	27/03/2024
SEAVIEW ELEVATIONS (TYPICAL)	WD-04	27/03/2024
SEAVIEW SECTIONS (TYPICAL)	WD-05	27/03/2024
SEAVIEW FOOTING LAYOUT (TYPICAL)	WD-06	27/03/2024
SEAVIEW ROOF LAYOUT (TYPICAL)	WD-07	27/03/2024
SEAVIEW BRACING LAYOUT (TYPICAL)	WD-08	27/03/2024
SEAVIEW ELECTRICAL LAYOUT (TYPICAL)	WD-09	27/03/2024
SEAVIEW KITCHEN LAYOUT (TYPICAL)	WD-10	27/03/2024
SEAVIEW CHASSIS PLAN (TYPICAL)	WD-11	27/03/2024
SEAVIEW OPENING SCHEDULES (TYPICAL)	WD-12	27/03/2024
ACCESSIBLE UNITS FLOOR PLAN	WD-13.1	27/03/2024
ACCESSIBLE UNITS BATHROOM DETAILS	WD-13.2	27/03/2024
ACCESSIBLE UNITS ELEVATIONS	WD-14	27/03/2024

DRAWINGS SCHEDULE

SHEET NAME	SHEET NUMBER	ISSUE DATE
ACCESSIBLE UNITS SECTIONS	WD-15	27/03/2024
ACCESSIBLE UNITS FOOTING LAYOUT	WD-16	27/03/2024
ACCESSIBLE UNITS ROOF LAYOUT	WD-17	27/03/2024
ACCESSIBLE UNITS BRACING LAYOUT	WD-18	27/03/2024
ACCESSIBLE UNITS ELECTRICAL LAYOUT	WD-19	27/03/2024
ACCESSIBLE UNITS KITCHENETTE LAYOUT (TYPICAL)	WD-20	27/03/2024
ACCESSIBLE UNITS CHASSIS PLAN	WD-21	27/03/2024
ACCESSIBLE UNITS PARTY WALL DETAIL	WD-22	27/03/2024
ACCESSIBLE UNITS OPENING SCHEDULES	WD-23	27/03/2024
STUDIO UNITS FLOOR PLAN	WD-24.1	27/03/2024
STUDIO UNITS BATH DETAILS (TYPICAL)	WD-24.2	27/03/2024
STUDIO UNITS ELEVATIONS	WD-25	27/03/2024
STUDIO UNITS SECTIONS	WD-26	27/03/2024
STUDIO UNITS FOOTING LAYOUT	WD-27	27/03/2024
STUDIO UNITS ROOF LAYOUT	WD-28	27/03/2024
STUDIO UNITS BRACING LAYOUT	WD-29	27/03/2024
STUDIO UNITS ELECTRICAL LAYOUT	WD-30	27/03/2024
STUDIO UNITS KITCHENETTE LAYOUT (TYPICAL)	WD-31	27/03/2024
STUDIO UNITS CHASSIS PLAN	WD-32	27/03/2024
STUDIO UNITS PARTY WALL DETAIL	WD-33	27/03/2024
STUDIO UNITS OPENING SCHEDULES	WD-34	27/03/2024

PLANTING & LANDSCAPING INDICATIVE ONLY

ALL BUILDING WORKS COMPLY WITH AMENDMENTS TO NCC 2022 VOL. 2 INCLUDING BUT NOT LIMITED TOO:

- H1 - STRUCTURE
- H2 - DAMP AND WEATHERPROOFING
- H3 - FIRE SAFETY
- H4 - HEALTH AND AMENITY
- H7 - ANCILLARY PROVISIONS AND ADDITIONAL CONSTRUCTION METHODS
- H8 - LIVEABLE HOUSING DESIGN



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QBCC. No: 1156073

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REVISIONS

#	REVISION DESCRIPTION	DATE
1	CO ISSUE	08/09/2023
2	REVISED CO ISSUE	27/09/2023
3	REVISED CO ISSUE	24/10/2023
4	REVISED CO ISSUE	16/11/2023
5	REVISED CO ISSUE	21/02/2024
6	CD ISSUE	27/03/2024

SITE OWNER:

**UNITING CHURCH OF AUSTRALIA**

SITE ADDRESS:

DOUGLAS STREET  
THURSDAY ISLAND 4875

JOB NUMBER: THURSDAY ISLAND

COVER SHEET

PROJECT ISSUE DATE: 08/09/2023

SHEET ISSUE DATE: 27/03/2024

DRAWN: ES

WD-01

SHEET SIZE: A3 SCALE:

**Development Application:** Development Permit for Material Change of Use — Multiple Dwelling and Reconfiguration of a Lot (rearranging the boundary)

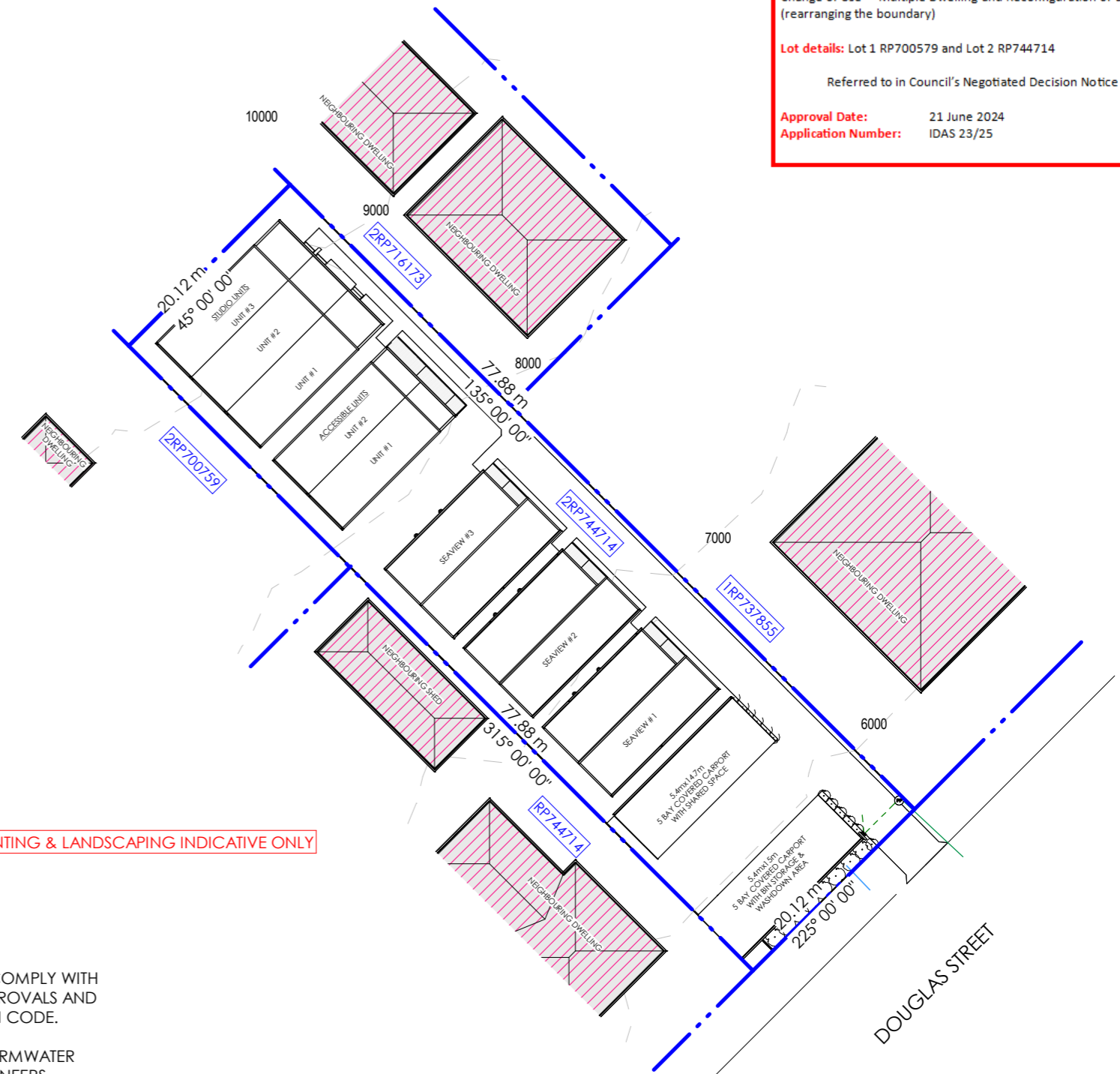
**Lot details:** Lot 1 RP700579 and Lot 2 RP744714

Referred to in Council's Negotiated Decision Notice

**Approval Date:** 21 June 2024  
**Application Number:** IDAS 23/25



1 LOCALITY PLAN  
SCALE 1 : 2500



2 SITE PLAN  
SCALE 1 : 500

REAL PROPERTY DESCRIPTION

LOT No. 2  
PLAN No. RP744714  
LOCAL GOV. TORRES SHIRE COUNCIL  
SITE AREA: 1567 m<sup>2</sup>  
WIND CLASSIFICATION: C3  
BUSHFIRE ATTACK LEVEL (BAL): NA

SITE NOTES

- THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE ORIGINAL SURVEY PLAN.
- ALL EXISTING SERVICES TO BE CONFIRMED ON SITE. ANY SERVICES SHOWN ARE INDICATIVE ONLY.
- LOCATION AND ROUTE OF DRIVEWAY AND CROSSING TO BE CONFIRMED ON SITE.
- ALL BUILDING WORKS TO COMPLY WITH LOCAL GOVERNMENT APPROVALS AND NATIONAL CONSTRUCTION CODE.
- FOR CONNECTION OF STORMWATER REFER TO HYDRAULIC ENGINEERS DRAWINGS

LEGEND

- BOUNDARY LINE
- STORMWATER

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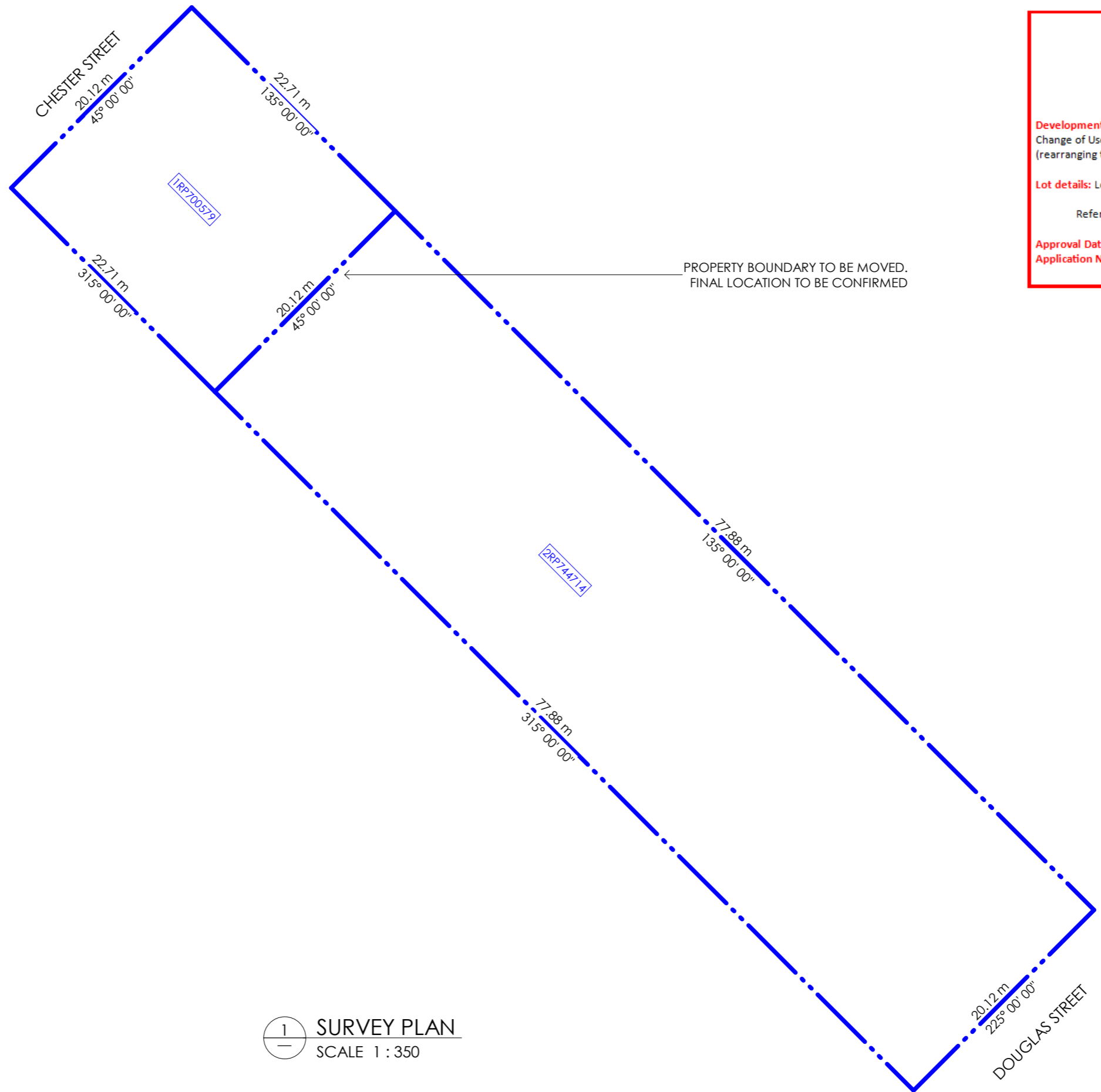
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6	CD ISSUE	27/03/2024

SITE OWNER:  
**UNITING CHURCH OF AUSTRALIA**

SITE ADDRESS:  
DOUGLAS STREET  
THURSDAY ISLAND 4875

JOB NUMBER: THURSDAY ISLAND	
SITE PLAN	
PROJECT ISSUE DATE: 08/09/2023	WD-02.1
SHEET ISSUE DATE: 27/03/2024	
DRAWN: ES	SHEET SIZE: A3 SCALE: As indicated



**TORRES SHIRE COUNCIL**

**DIGITALLY STAMPED**

**APPROVED PLAN**

**Development Application:** Development Permit for Material Change of Use — Multiple Dwelling and Reconfiguration of a Lot (rearranging the boundary)

**Lot details:** Lot 1 RP700579 and Lot 2 RP744714

Referred to in Council's Negotiated Decision Notice

**Approval Date:** 21 June 2024  
**Application Number:** IDAS 23/25

**PROPOSED PROPERTY DESCRIPTION**

LOT No. 1  
 PLAN No. RP700579  
 LOCAL GOV. TORRES SHIRE COUNCIL

SITE AREA: 457 m<sup>2</sup>  
 WIND CLASSIFICATION: C3  
 BUSHFIRE ATTACK LEVEL (BAL): NA

**PROPOSED PROPERTY DESCRIPTION**

LOT No. 2  
 PLAN No. RP744714  
 LOCAL GOV. TORRES SHIRE COUNCIL

SITE AREA: 1567 m<sup>2</sup>  
 WIND CLASSIFICATION: C3  
 BUSHFIRE ATTACK LEVEL (BAL): NA

1 SURVEY PLAN  
 SCALE 1 : 350



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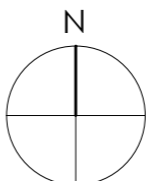
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SITE OWNER:  
**UNITING CHURCH OF AUSTRALIA**

SITE ADDRESS:  
DOUGLAS STREET  
THURSDAY ISLAND 4875



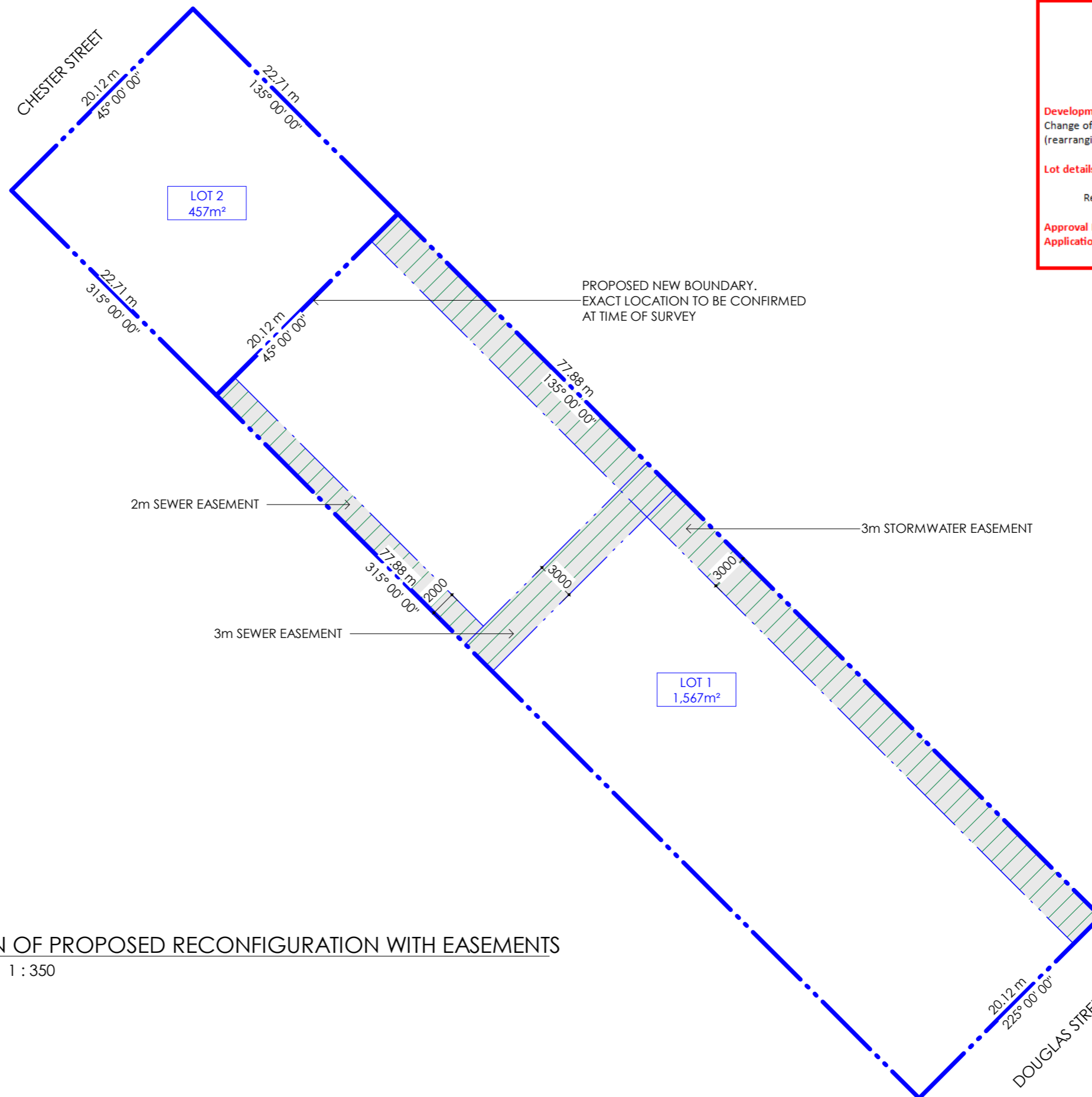
JOB NUMBER: THURSDAY ISLAND	
SURVEY PLAN	
PROJECT ISSUE DATE: 08/09/2023	WD-02.2
SHEET ISSUE DATE: 27/03/2024	
DRAWN: ES	SHEET SIZE: A3 SCALE: 1 : 350

**Development Application:** Development Permit for Material Change of Use — Multiple Dwelling and Reconfiguration of a Lot (rearranging the boundary)

**Lot details:** Lot 1 RP700579 and Lot 2 RP744714

Referred to in Council's Negotiated Decision Notice

**Approval Date:** 21 June 2024  
**Application Number:** IDAS 23/25



1 PLAN OF PROPOSED RECONFIGURATION WITH EASEMENTS  
SCALE 1 : 350



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REVISIONS

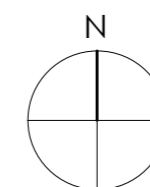
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SITE OWNER:

**UNITING CHURCH OF AUSTRALIA**

SITE ADDRESS:

CHESTER STREET & DOUGLAS STREET  
THURSDAY ISLAND 4875



JOB NUMBER: THURSDAY ISLAND

PROPOSED RECONFIGURATION WITH EASEMENTS

PROJECT ISSUE DATE: 08/09/2023

SHEET ISSUE DATE: 21/02/2024

DRAWN: ES

WD-02.6

SHEET SIZE: A3 SCALE: 1 : 350



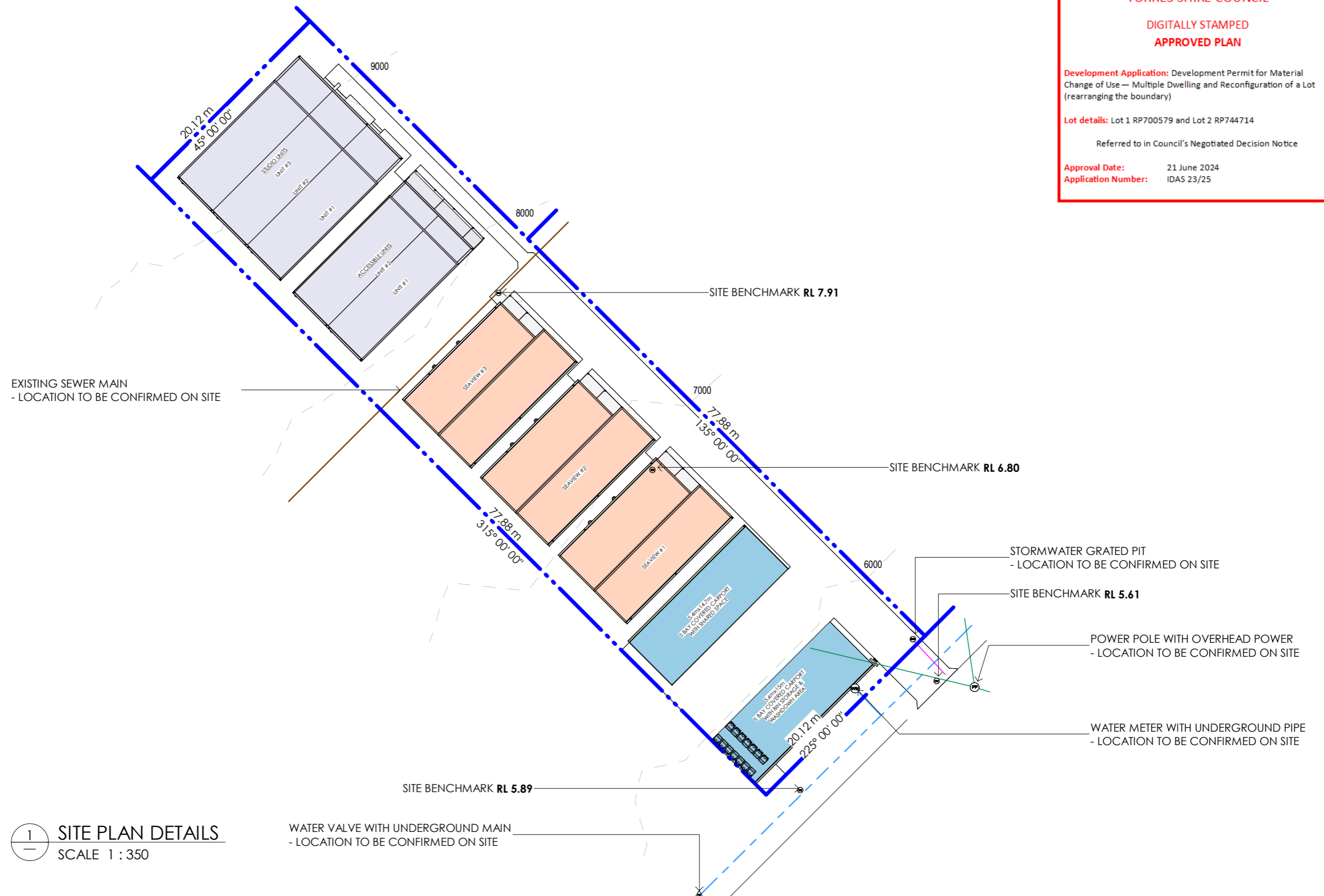
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**Lot details:** Lot 1 RP700579 and Lot 2 RP744714

Referred to in Council's Negotiated Decision Notice

**Approval Date:** 21 June 2024

**Application Number:** IDAS 23/25



1 SITE PLAN DETAILS  
SCALE 1 : 350



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REVISIONS

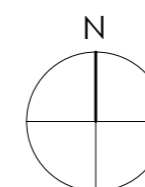
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SITE OWNER:

**UNITING CHURCH OF AUSTRALIA**

SITE ADDRESS:

DOUGLAS STREET  
THURSDAY ISLAND 4875



JOB NUMBER: THURSDAY ISLAND

SITE PLAN DETAILS

PROJECT ISSUE DATE: 08/09/2023

SHEET ISSUE DATE: 27/03/2024

DRAWN: ES

WD-02.3

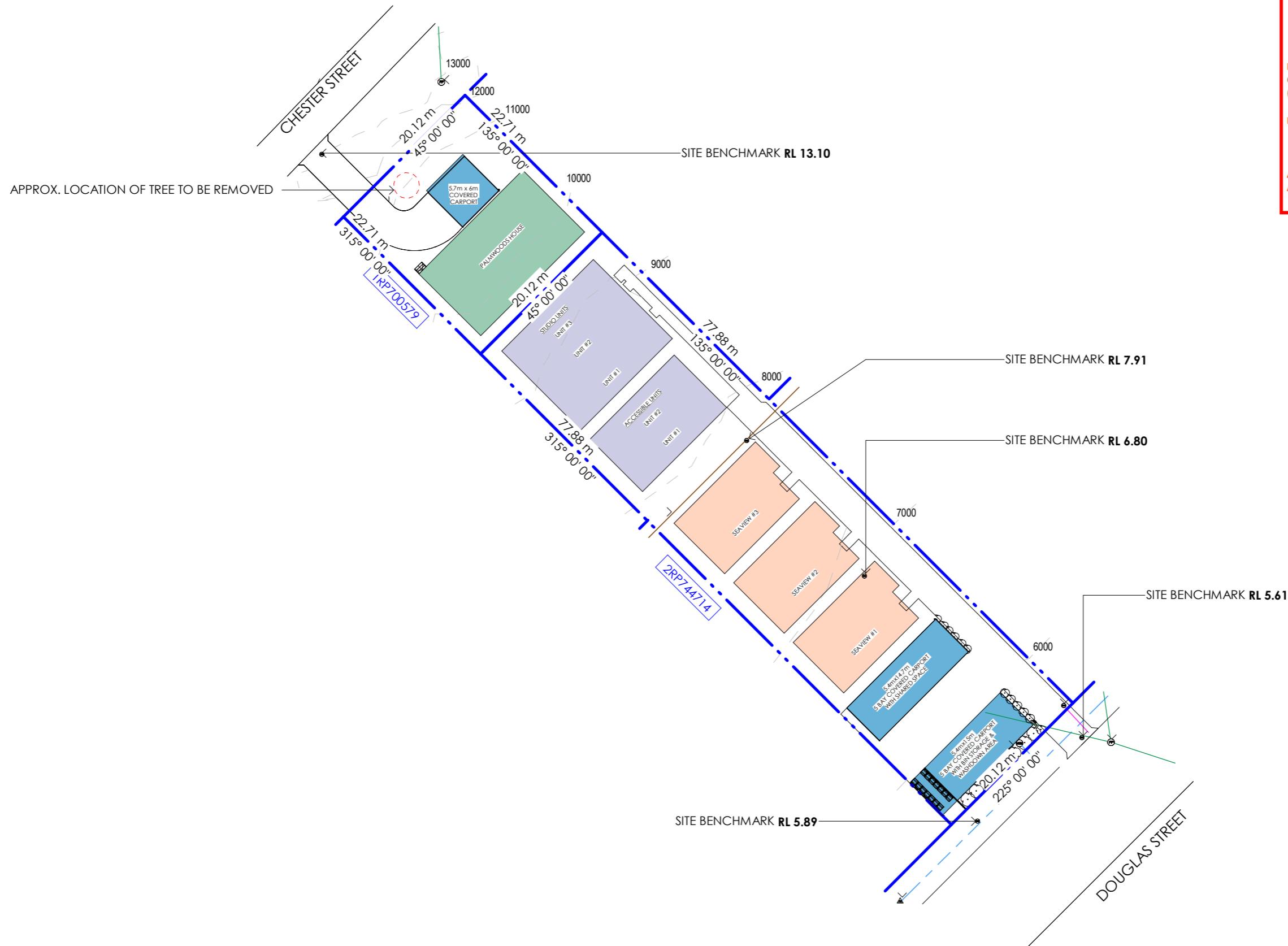
SHEET SIZE: A3 SCALE: 1 : 350

**Development Application:** Development Permit for Material Change of Use — Multiple Dwelling and Reconfiguration of a Lot (rearranging the boundary)

**Lot details:** Lot 1 RP700579 and Lot 2 RP744714

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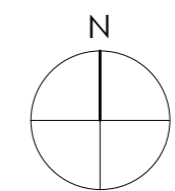
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SITE OWNER:  
**UNITING CHURCH OF AUSTRALIA**  
SITE ADDRESS:  
CHESTER STREET & DOUGLAS STREET  
THURSDAY ISLAND 4875



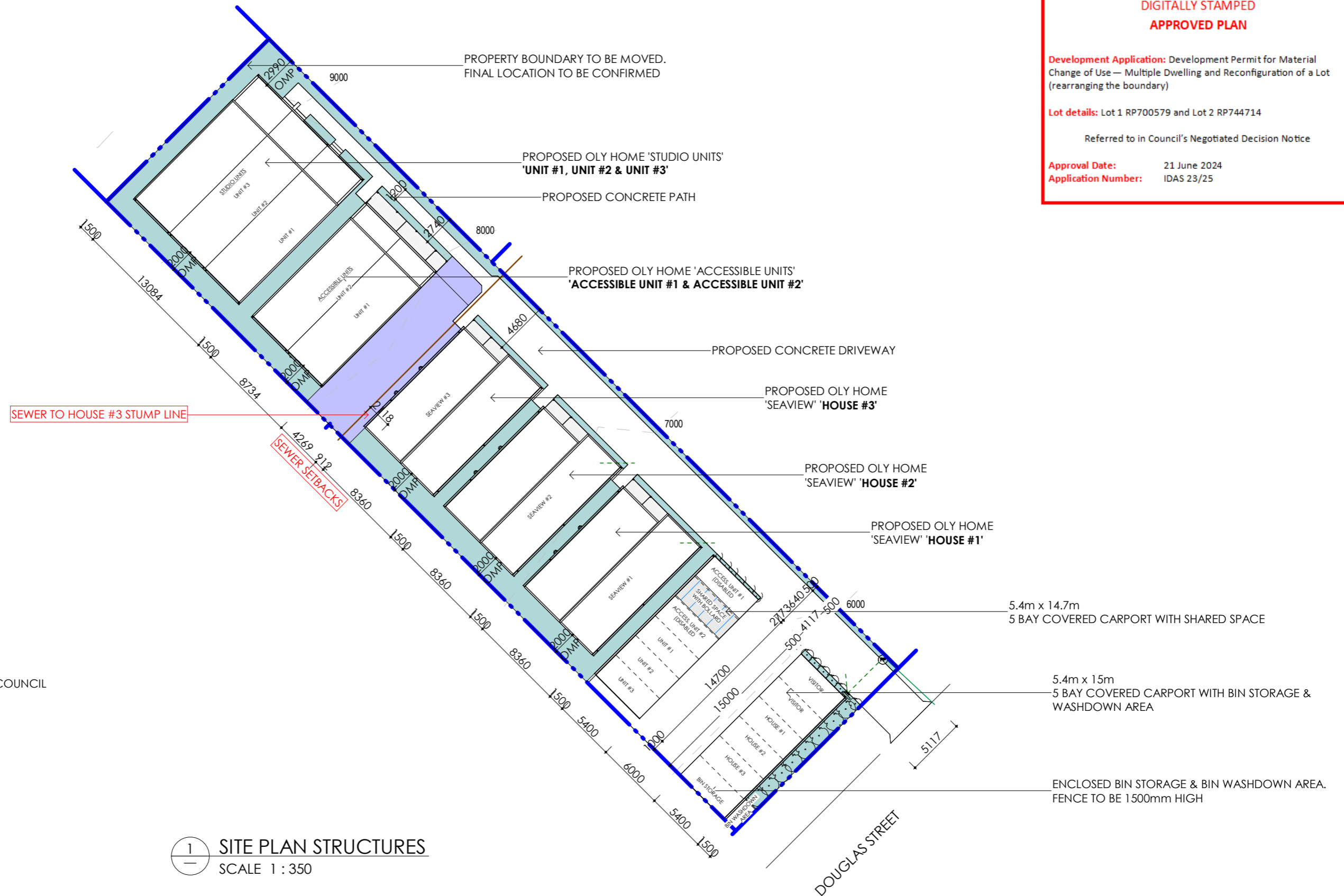
JOB NUMBER: THURSDAY ISLAND	
SITE PLAN - TREE TO BE REMOVED	
PROJECT ISSUE DATE: 08/09/2023	WD-02.3
SHEET ISSUE DATE: 21/02/2024	
DRAWN: ES	SHEET SIZE: A3 SCALE: 1 : 500

**Development Application:** Development Permit for Material Change of Use — Multiple Dwelling and Reconfiguration of a Lot (rearranging the boundary)

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**Approval Date:** 21 June 2024  
**Application Number:** IDAS 23/25



PROPOSED PROPERTY DESCRIPTION

LOT No. 2  
PLAN No. RP744714  
LOCAL GOV. TORRES SHIRE COUNCIL

SITE AREA: 1567 m<sup>2</sup>  
SITE COVERAGE: 764 m<sup>2</sup>  
SITE COVERAGE: 48.76%  
WIND CLASSIFICATION: C3  
BUSHFIRE ATTACK LEVEL (BAL): NA

SITE AREA: 1567 m<sup>2</sup>  
LANDSCAPING COVERAGE: 396 m<sup>2</sup>  
LANDSCAPING COVERAGE: 25.27%

1 SITE PLAN STRUCTURES  
SCALE 1 : 350



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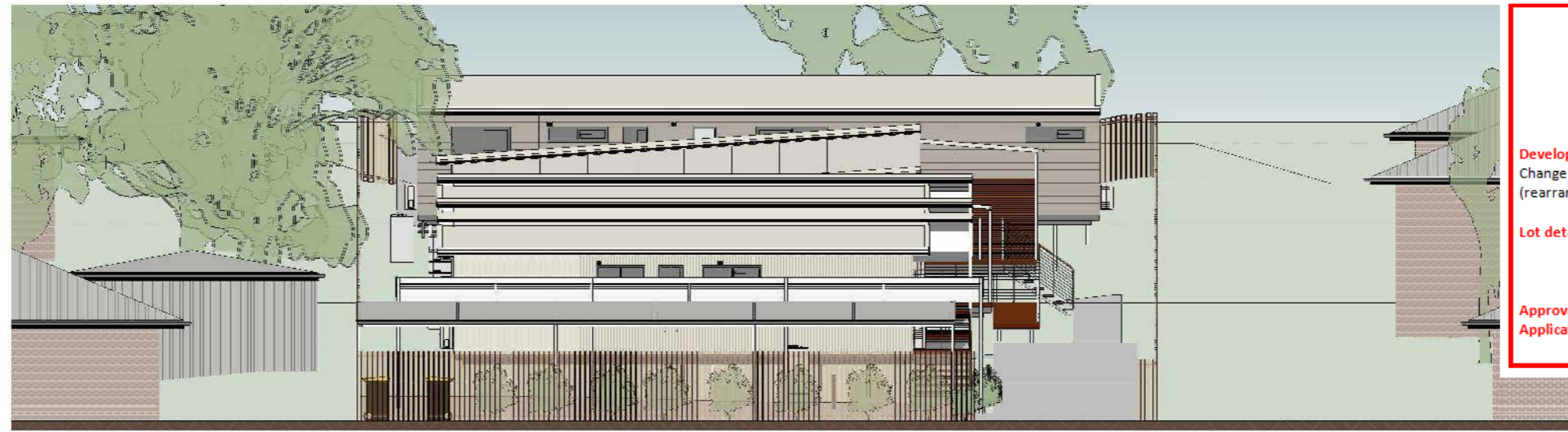
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5	REVISED CO ISSUE	21/02/2024
6	CD ISSUE	27/03/2024

SITE OWNER:  
**UNITING CHURCH OF AUSTRALIA**

SITE ADDRESS:  
DOUGLAS STREET  
THURSDAY ISLAND 4875



JOB NUMBER: THURSDAY ISLAND	
SITE PLAN STRUCTURES	
PROJECT ISSUE DATE: 08/09/2023	WD-02.4
SHEET ISSUE DATE: 27/03/2024	
DRAWN: ES	SHEET SIZE: A3 SCALE: 1 : 350



TORRES SHIRE COUNCIL

DIGITALLY STAMPED  
APPROVED PLAN

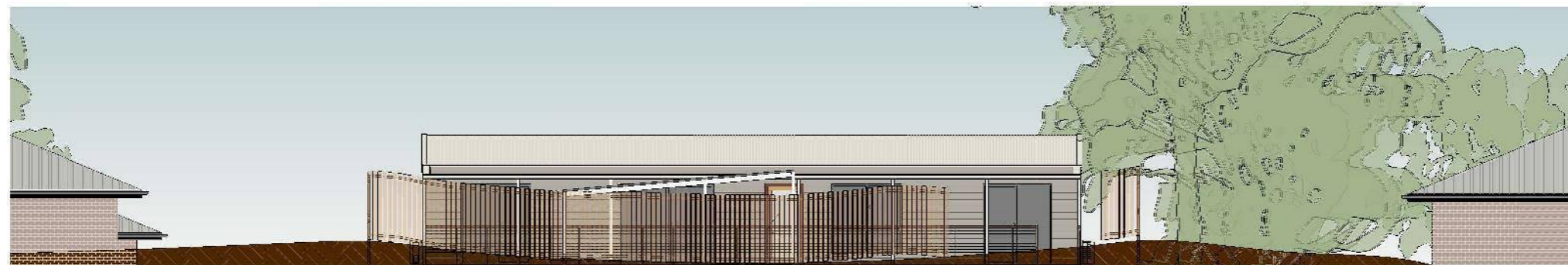
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**Lot details:** Lot 1 RP700579 and Lot 2 RP744714

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1 DOUGLAS STREET ELEVATION  
SCALE 1 : 150



2 CHESTER STREET ELEVATION  
SCALE 1 : 150

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3 SITE SECTION  
SCALE 1 : 250



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SITE OWNER:

**UNITING CHURCH OF AUSTRALIA**

SITE ADDRESS:

CHESTER STREET & DOUGLAS STREET  
THURSDAY ISLAND 4875

JOB NUMBER: THURSDAY ISLAND

SITE ELEVATIONS

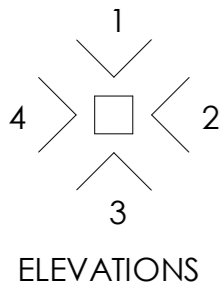
PROJECT ISSUE DATE: 08/09/2023

SHEET ISSUE DATE: 21/02/2024

DRAWN: ES

WD-02.5

SHEET SIZE: A3 SCALE: As indicated



ELEVATIONS

**TORRES SHIRE COUNCIL**  
 DIGITALLY STAMPED  
 APPROVED PLAN

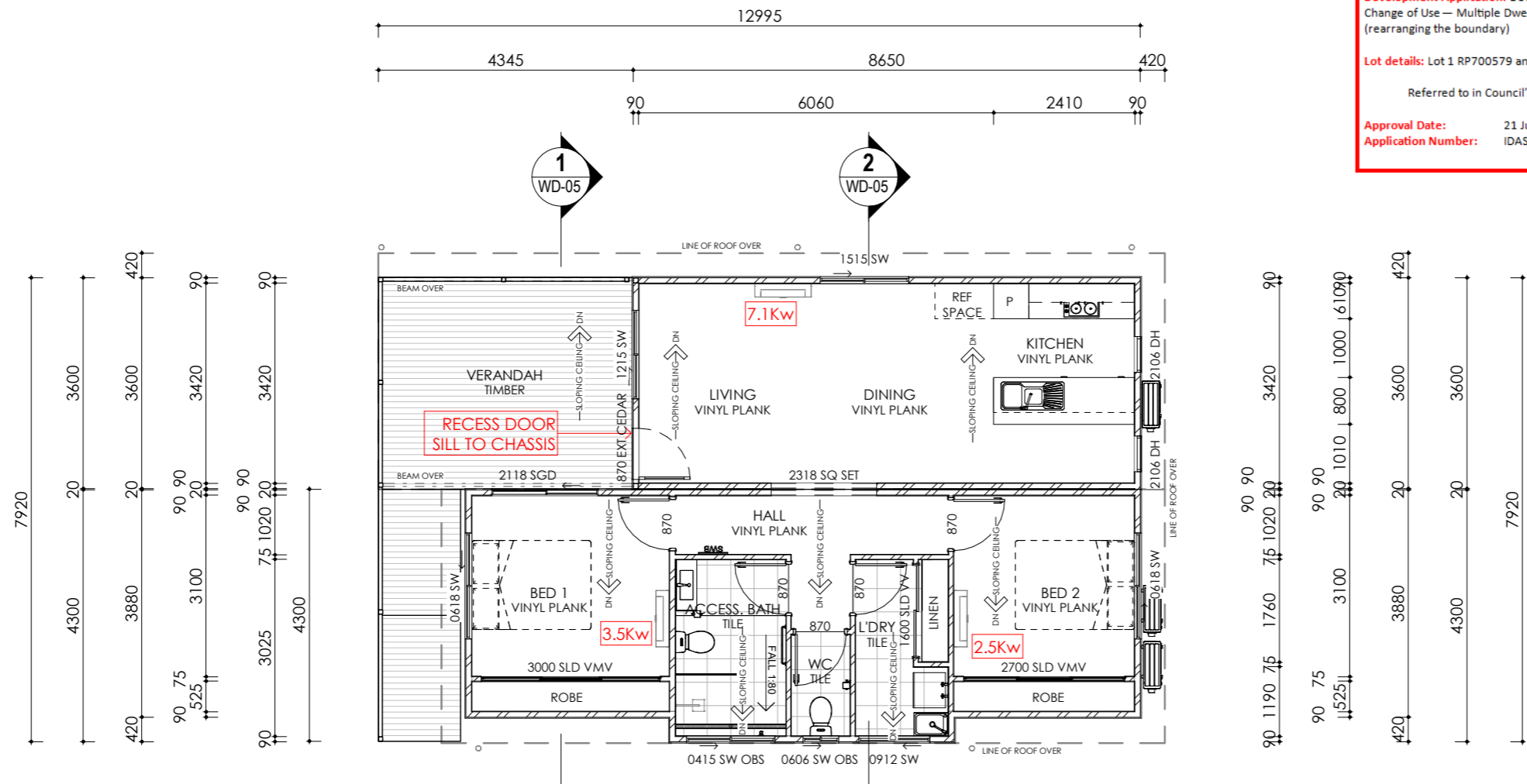
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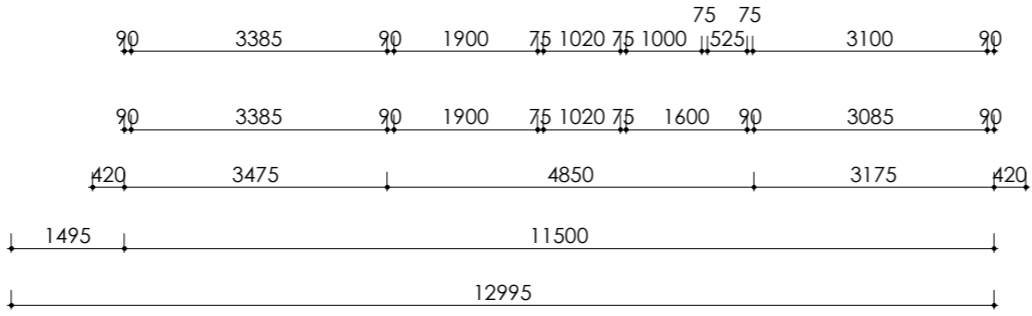
DOOR SCHEDULE	
ROOM	TYPE
BED 1	870
BATH	870
L'DRY	870
WC	870
LINEN	1600 SLD VV
BED 1	2118 SGD
BED 1	3000 SLD VMV
BED 2	2700 SLD VMV
BED 2	870
VERANDAH	870 EXT CEDAR



WINDOW SCHEDULE	
ROOM	TYPE
BATH	0415 SW OBS
L'DRY	0912 SW
WC	0606 SW OBS
BED 1	0618 SW
BED 2	0618 SW
KITCHEN	1215 SW
DINING	1515 SW
LIVING	2106 DH
LIVING	2106 DH

LEGEND	
DH	DOUBLE HUNG WINDOW
L'DRY	LAUNDRY ROOM
OBS	OBSCURE GLASS
P	PANTRY
SLD MV	SLIDING DOOR - MIRROR/VINYL
SGD	SLIDING GLASS DOOR
SW	SLIDING WINDOW
WC	WATER CLOSET

WINDOW REVEAL SIZES	
106mm	- STANDARD CLADDING - VINYL - COLORBOND
116mm	- WEATHERTEX
130mm	- ROLLSEC ALPINE - ROLLSEC HORIZON



**DESIGN REQUIREMENTS FOR CONSTRUCTION:**

WIND CLASSIFICATION: **C3**  
 BUSHFIRE ATTACK LEVEL (BAL): **TBC**

**1 FLOOR PLAN**  
 SCALE 1 : 100

**EXACT NUMBER OF STAIR RISERS REQUIRED MUST BE DETERMINED FROM SITE VISIT PRIOR TO STAIR FABRICATION**

AREA SCHEDULE	
NAME	AREA
LIVING	78.0 m <sup>2</sup>
VERANDAH	15.7 m <sup>2</sup>
GRAND TOTAL	93.7 m <sup>2</sup>

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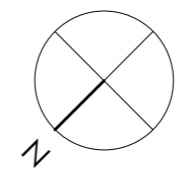
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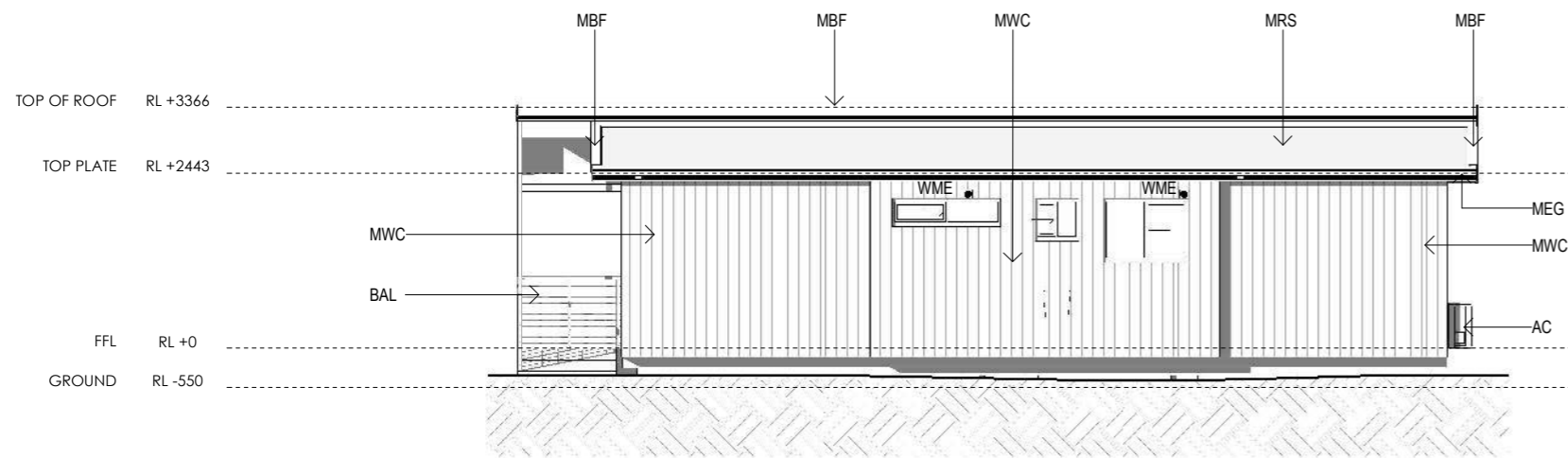
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SITE OWNER:  
**UNITING CHURCH OF AUSTRALIA**

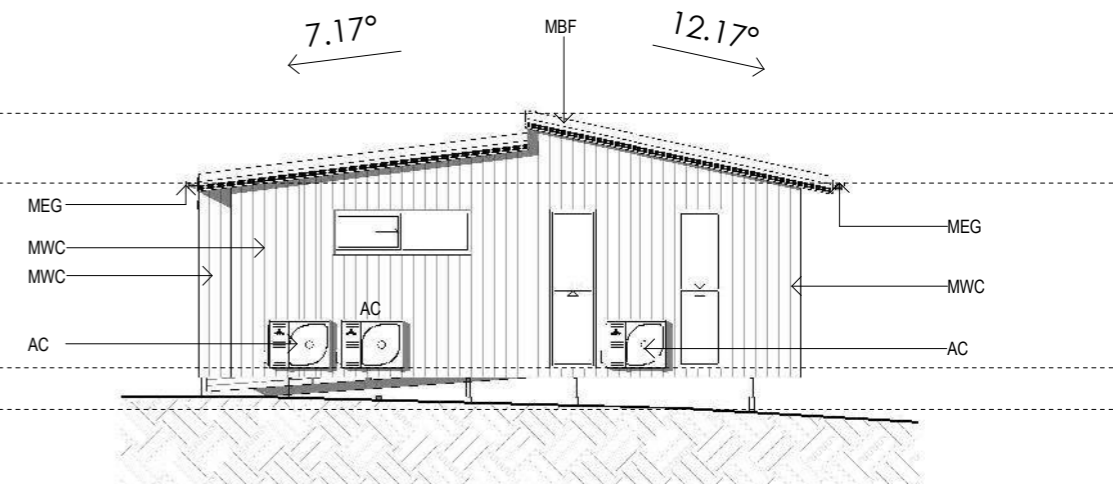
SITE ADDRESS:  
 DOUGLAS STREET  
 THURSDAY ISLAND 4875



JOB NUMBER: THURSDAY ISLAND	
SEAVIEW FLOOR PLAN (TYPICAL)	
PROJECT ISSUE DATE: 08/09/2023	WD-03.1
SHEET ISSUE DATE: 27/03/2024	
DRAWN: ES	SHEET SIZE: A3 SCALE: 1 : 100



1 NORTH ELEVATION  
SCALE 1 : 100



2 EAST ELEVATION  
SCALE 1 : 100

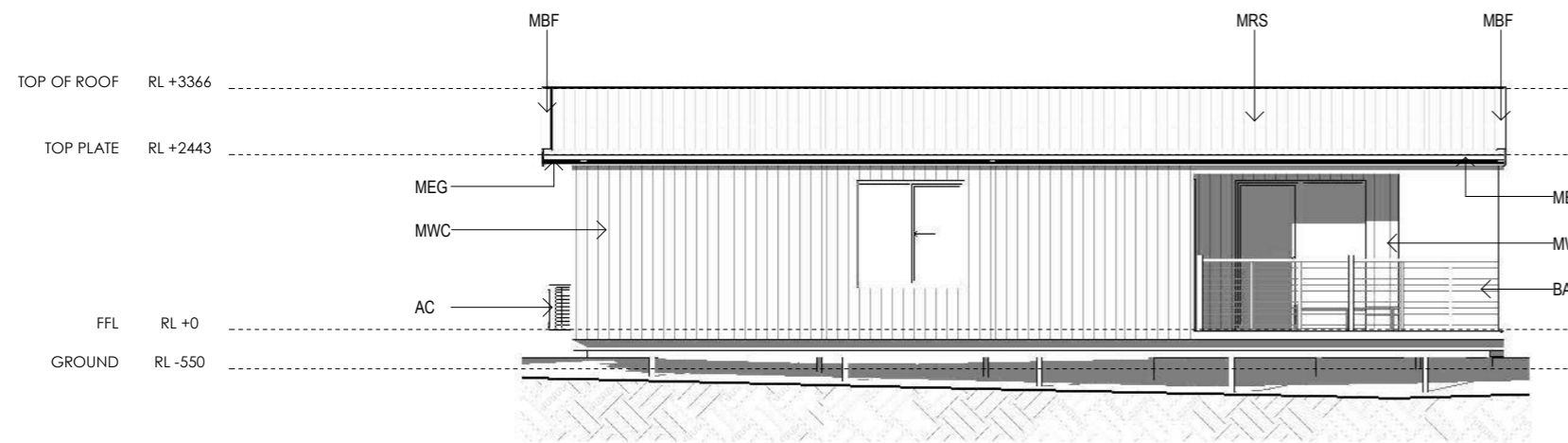
**TORRES SHIRE COUNCIL**  
DIGITALLY STAMPED  
APPROVED PLAN

**Development Application:** Development Permit for Material Change of Use — Multiple Dwelling and Reconfiguration of a Lot (rearranging the boundary)

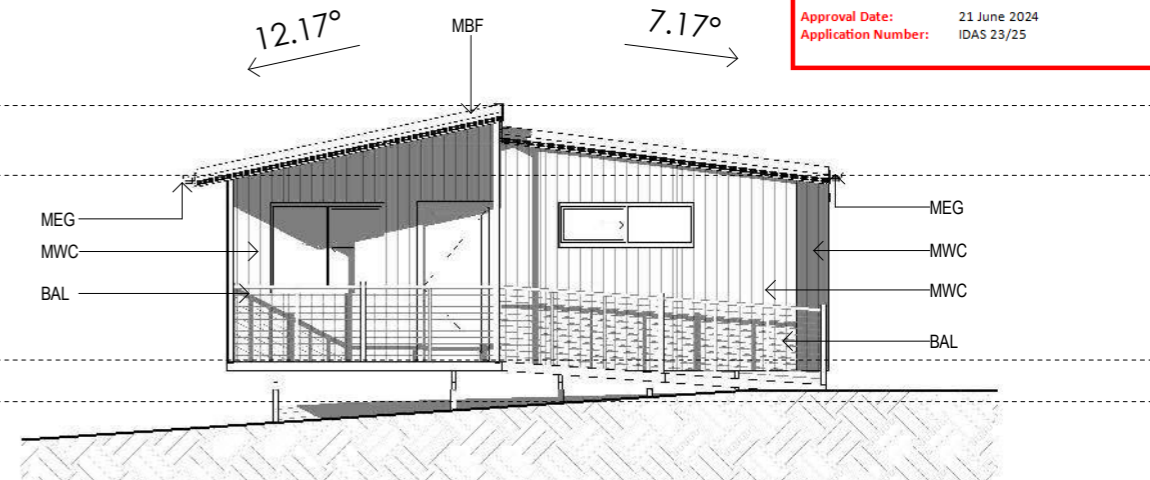
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**Approval Date:** 21 June 2024  
**Application Number:** IDAS 23/25



3 SOUTH ELEVATION  
SCALE 1 : 100



4 WEST ELEVATION  
SCALE 1 : 100

**STANDARD BUILDING MATERIALS:**  
(UNLESS STATED OTHERWISE)

**ROOF MATERIAL:**  
COLORBOND METAL ROOF SHEETING  
INSTALLED IN ACCORDANCE WITH  
"AS 1562-1992" & THE MANUFACTURER'S  
SPECIFICATION.

**FASCIA & GUTTERS:**  
COLORBOND GUTTER & FASCIA IN  
ACCORDANCE WITH "AS 2180-1986" &  
UPVC RAINWATER DOWNPIPES BY OTHERS IN  
ACCORDANCE WITH "AS 1273-1991".

**GLAZING:**  
SELECTED POWDER COATED ALUMINIUM FRAME  
WINDOWS AND SLIDING GLASS DOORS IN  
ACCORDANCE WITH "AS 2047-2014" AND VOLUME  
2 PART 3.12 OF THE NCC 2022.

ABBREVIATION SCHEDULE

AC	AIR-CONDITIONING UNIT
BAL	BALUSTRADE SS WIRE WITH HARDWOOD TOPRAIL & PC POSTS
MBF	METAL BARGE FLASHING AND FASCIA - COLORBOND
MEG	METAL EAVES GUTTER AND FASCIA - COLORBOND
MRS	METAL ROOF SHEETING - COLORBOND CUSTOMORB
MWC	METAL WALL CLADDING - VERTICAL COLORBOND CUSTOMORB
WME	WALL MOUNTED EXHAUST FAN



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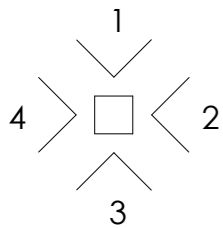
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6	CD ISSUE	27/03/2024

SITE OWNER:  
**UNITING CHURCH OF AUSTRALIA**

SITE ADDRESS:  
DOUGLAS STREET  
THURSDAY ISLAND 4875

JOB NUMBER: THURSDAY ISLAND	
SEAVIEW ELEVATIONS (TYPICAL)	
PROJECT ISSUE DATE: 08/09/2023	WD-04
SHEET ISSUE DATE: 27/03/2024	
DRAWN: ES	SHEET SIZE: A3 SCALE: 1 : 100



ELEVATIONS

**TORRES SHIRE COUNCIL**

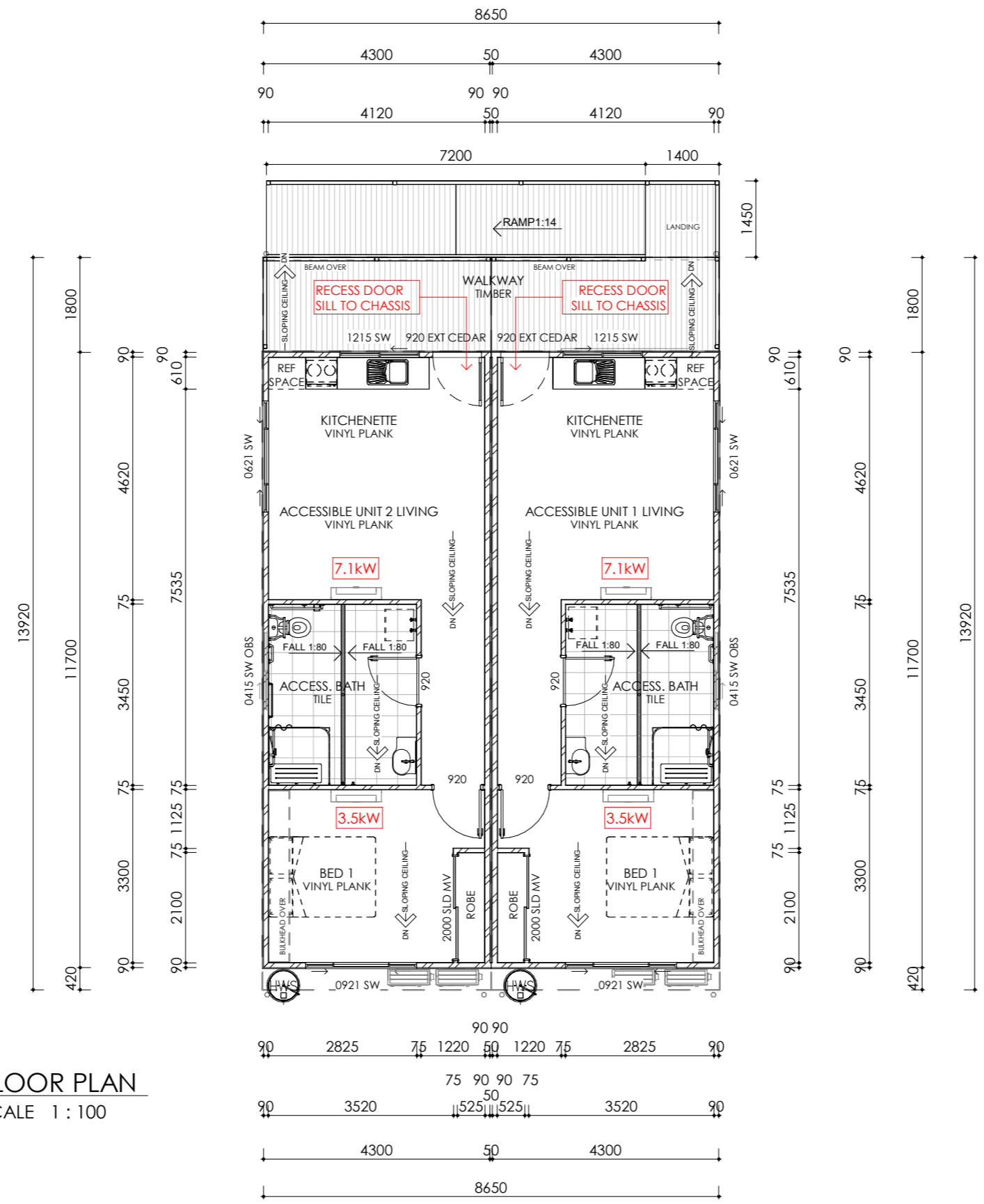
**DIGITALLY STAMPED**  
**APPROVED PLAN**

**Development Application:** Development Permit for Material Change of Use — Multiple Dwelling and Reconfiguration of a Lot (rearranging the boundary)

**Lot details:** Lot 1 RP700579 and Lot 2 RP744714

Referred to in Council's Negotiated Decision Notice

**Approval Date:** 21 June 2024  
**Application Number:** IDAS 23/25



**1 FLOOR PLAN**  
SCALE 1 : 100

**DOOR SCHEDULE**

ROOM	TYPE
BED 1	920
KITCHENETTE	920 EXT CEDAR
ACCESS. BATH	920
ROBE	2000 SLD MV
ACCESS. BATH	920
BED 1	920
ROBE	2000 SLD MV
KITCHENETTE	920 EXT CEDAR

**WINDOW SCHEDULE**

ROOM	TYPE
KITCHENETTE	1215 SW
BED 1	0921 SW
LIVING	0621 SW
ACCESS. BATH	0415 SW OBS
ACCESS. BATH	0415 SW OBS
LIVING	0621 SW
BED 1	0921 SW
KITCHENETTE	1215 SW

**LEGEND**

OBS	OBSOLETE GLASS
P	PANTRY
SW	SLIDING WINDOW

**AREA SCHEDULE**

NAME	AREA
UNIT 1	50.3 m <sup>2</sup>
UNIT 2	50.3 m <sup>2</sup>
WALKWAY	15.6 m <sup>2</sup>
<b>GRAND TOTAL</b>	<b>116.3 m<sup>2</sup></b>

ACCESSIBLE UNITS DESIGNED TO  
**AS 1428.1:2021**  
**DESIGN FOR ACCESS AND MOBILITY**

**DESIGN REQUIREMENTS FOR CONSTRUCTION:**

WIND CLASSIFICATION: **C3**  
BUSHFIRE ATTACK LEVEL (BAL): **TBC**

66 Pioneer Road,  
Yandina, QLD 4561

Ph: 07 5472 7444  
Olyhomes.com.au

QBCC. No: 1156073

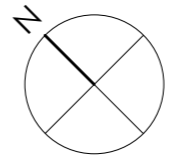
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**REVISIONS**

#	REVISION DESCRIPTION	DATE
1	CO ISSUE	08/09/2023
2	REVISED CO ISSUE	27/09/2023
3	REVISED CO ISSUE	24/10/2023
4	REVISED CO ISSUE	16/11/2023
5	REVISED CO ISSUE	21/02/2023
6	CD ISSUE	27/03/2024

SITE OWNER:  
**UNITING CHURCH OF AUSTRALIA**

SITE ADDRESS:  
**DOUGLAS STREET  
THURSDAY ISLAND QLD 4875**

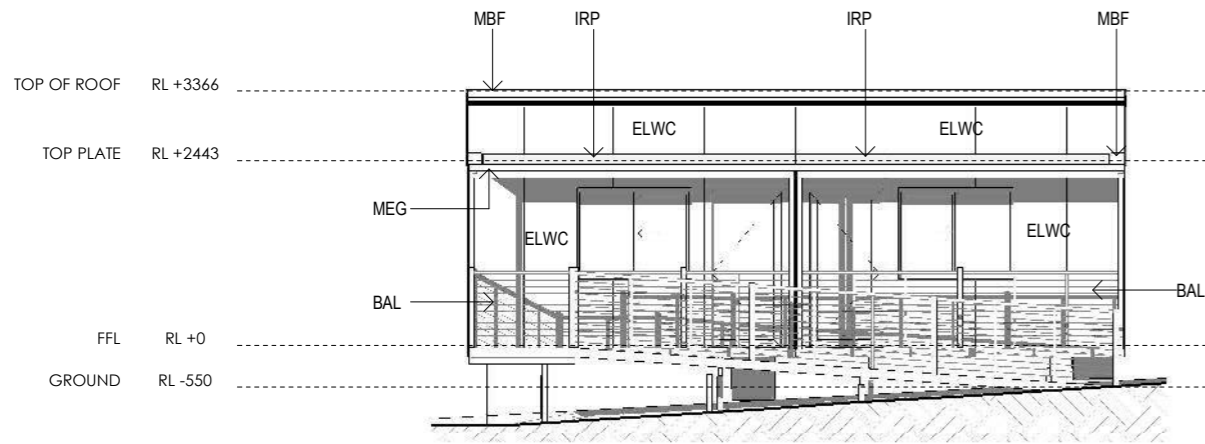


JOB NUMBER: THURSDAY ISLAND

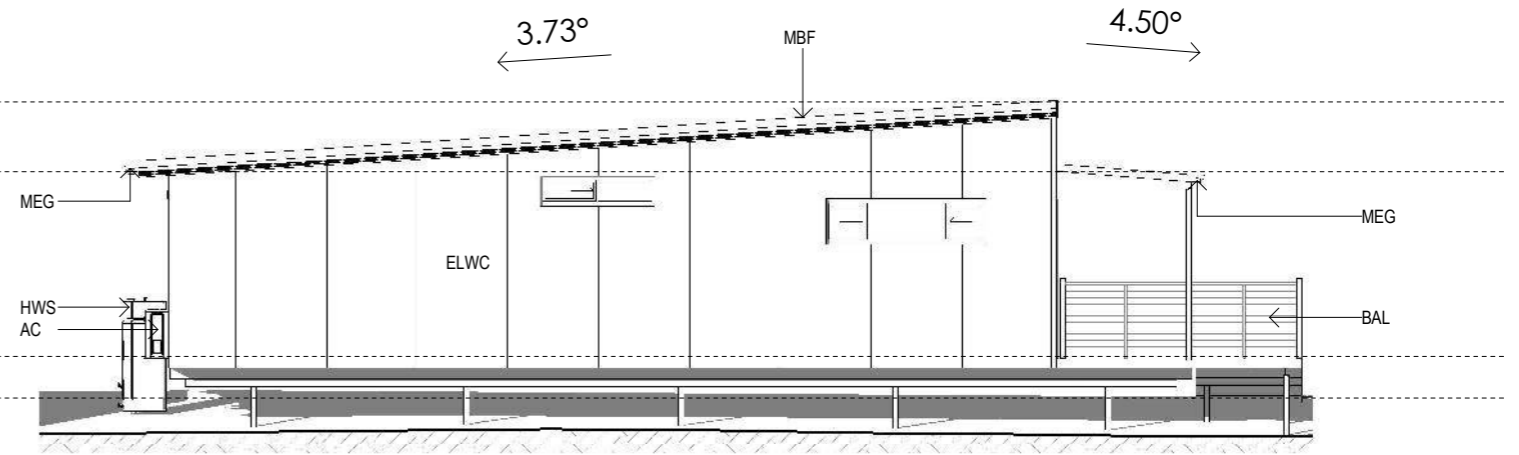
**ACCESSIBLE UNITS FLOOR PLAN**

PROJECT ISSUE DATE: 08/09/2023  
SHEET ISSUE DATE: 27/03/2024  
DRAWN: ES

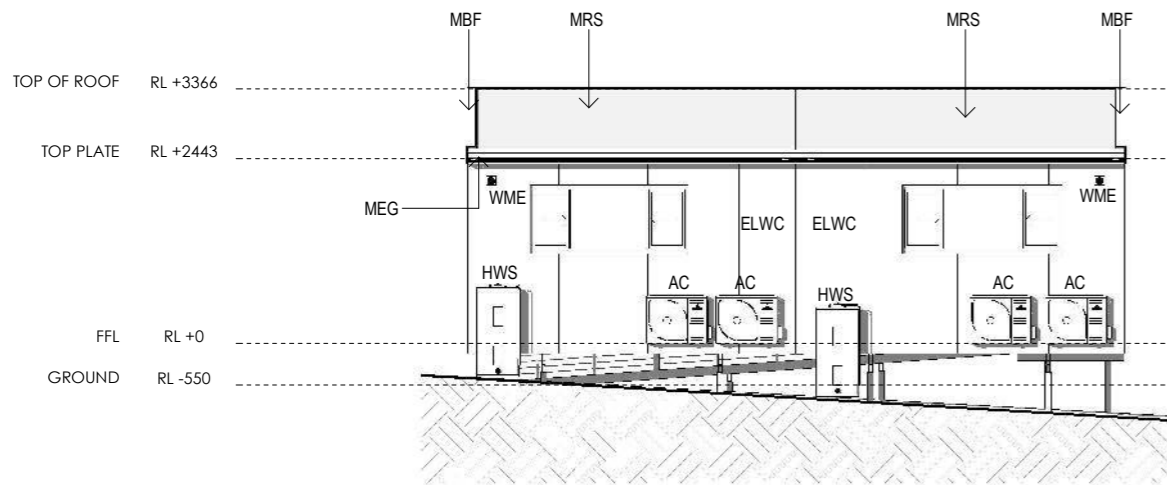
WD-13.1  
SHEET SIZE: A3 SCALE: 1 : 100



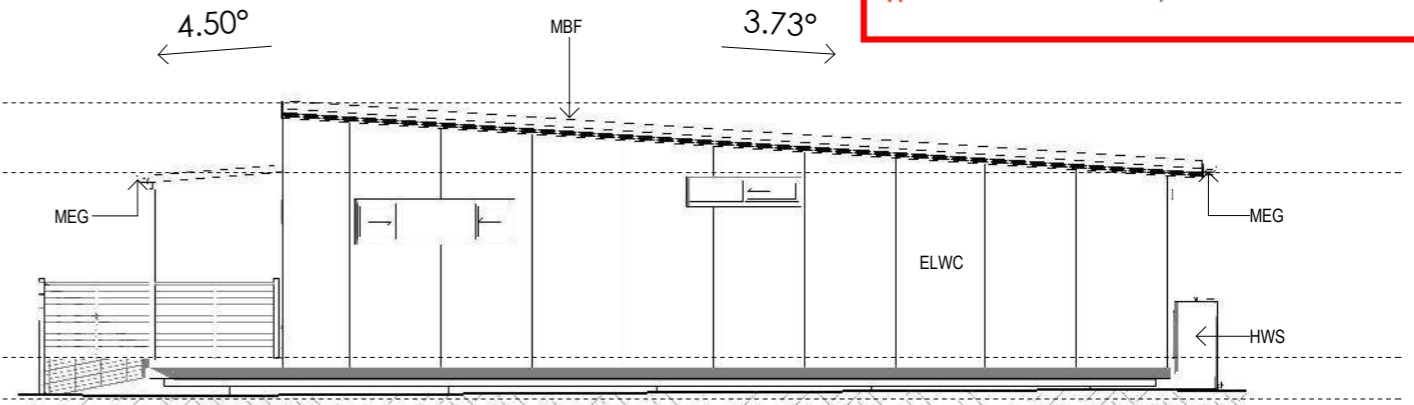
1 EAST ELEVATION  
SCALE 1 : 100



2 SOUTH ELEVATION  
SCALE 1 : 100



3 WEST ELEVATION  
SCALE 1 : 100



4 NORTH ELEVATION  
SCALE 1 : 100

**TORRES SHIRE COUNCIL**

**DIGITALLY STAMPED  
APPROVED PLAN**

**Development Application:** Development Permit for Material Change of Use — Multiple Dwelling and Reconfiguration of a Lot (rearranging the boundary)

**Lot details:** Lot 1 RP700579 and Lot 2 RP744714

Referred to in Council's Negotiated Decision Notice

**Approval Date:** 21 June 2024  
**Application Number:** IDAS 23/25

**STANDARD BUILDING MATERIALS:**  
(UNLESS STATED OTHERWISE)

**ROOF MATERIAL:**  
COLORBOND METAL ROOF SHEETING INSTALLED IN ACCORDANCE WITH "AS 1562-1992" & THE MANUFACTURER'S SPECIFICATION.

**FASCIA & GUTTERS:**  
COLORBOND GUTTER & FASCIA IN ACCORDANCE WITH "AS 2180-1986" & UPVC RAINWATER DOWNPIPES BY OTHERS IN ACCORDANCE WITH "AS 1273-1991".

**GLAZING:**  
SELECTED POWDER COATED ALUMINIUM FRAME WINDOWS AND SLIDING GLASS DOORS IN ACCORDANCE WITH "AS 2047-2014" AND VOLUME 2 PART 3.12 OF THE NCC 2022.

ABBREVIATION SCHEDULE	
AC	AIR-CONDITIONING UNIT
BAL	BALUSTRADE SS WIRE WITH HARDWOOD TOPRAIL & PC POSTS
ELWC	JAMES HARDIE EASY LAP WALL CLADDING 1200 PANELS
HWS	250 LT ELECTRIC HOT WATER SYSTEM
IRP	50 MM INSULATED ROOF PANEL TRIMDEK
MBF	METAL BARGE FLASHING AND FASCIA - COLORBOND
MEG	METAL EAVES GUTTER AND FASCIA - COLORBOND
MRS	METAL ROOF SHEETING - COLORBOND TRIMDEK
WME	WALL MOUNTED EXHAUST FAN

66 Pioneer Road,  
Yandina, QLD 4561

Ph: 07 5472 7444  
Olyhomes.com.au

QBCC. No: 1156073

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REVISIONS		
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5	REVISED CO ISSUE	21/02/2023
6	CD ISSUE	27/03/2024

SITE OWNER:  
**UNITING CHURCH OF AUSTRALIA**

SITE ADDRESS:  
DOUGLAS STREET  
THURSDAY ISLAND QLD 4875

JOB NUMBER: THURSDAY ISLAND

ACCESSIBLE UNITS ELEVATIONS

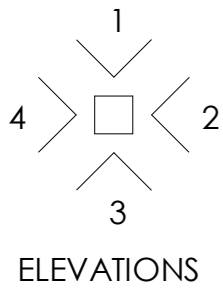
PROJECT ISSUE DATE: 08/09/2023  
SHEET ISSUE DATE: 27/03/2024

DRAWN: ES

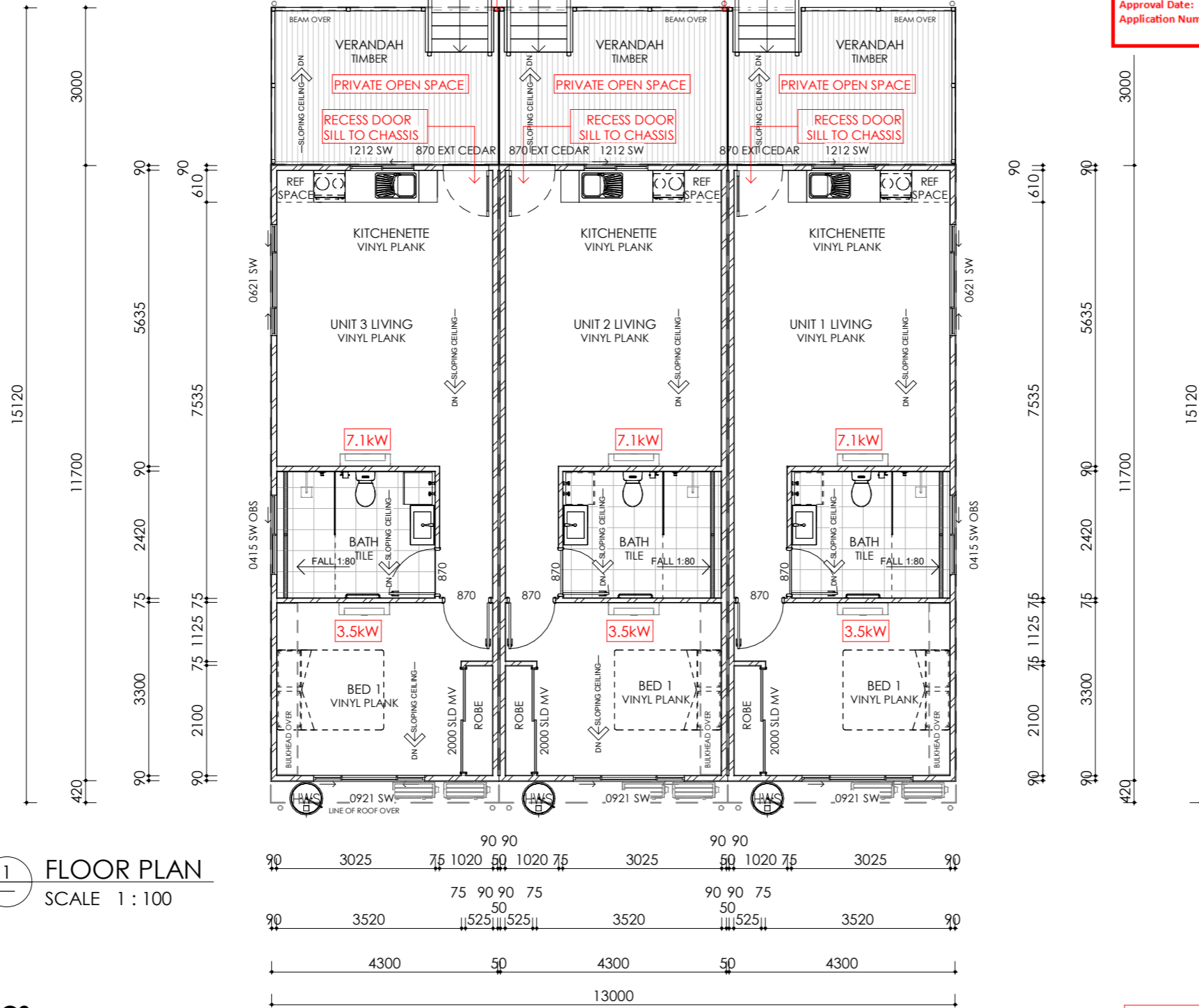
WD-14

SHEET SIZE: A3 SCALE: 1 : 100





ELEVATIONS



1 FLOOR PLAN  
SCALE 1 : 100

**DESIGN REQUIREMENTS FOR CONSTRUCTION:**

WIND CLASSIFICATION: **C3**  
BUSHFIRE ATTACK LEVEL (BAL): **TBC**

**TORRES SHIRE COUNCIL**  
**DIGITALLY STAMPED**  
**APPROVED PLAN**

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**Lot details:** Lot 1 RP700579 and Lot 2 RP744714

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**Application Number:** IDAS 23/25

DOOR SCHEDULE	
ROOM	TYPE
KITCHENETTE	870 EXT CEDAR
BATH	870
BED 1	870
BATH	870
BED 1	870
ROBE	2000 SLD MV
ROBE	2000 SLD MV
BED 1	870
BATH	870
ROBE	2000 SLD MV
KITCHENETTE	870 EXT CEDAR
KITCHENETTE	870 EXT CEDAR

WINDOW SCHEDULE	
ROOM	TYPE
KITCHENETTE	1212 SW
BED 1	0921 SW
BED 1	0921 SW
BED 1	0921 SW
LIVING	0621 SW
BATH	0415 SW OBS
LIVING	0621 SW
BATH	0415 SW OBS
KITCHENETTE	1212 SW
KITCHENETTE	1212 SW

LEGEND	
OBS	OBSOLETE GLASS
P	PANTRY
SW	SLIDING WINDOW

AREA SCHEDULE	
NAME	AREA
UNIT 1	50.3 m <sup>2</sup>
UNIT 2	50.3 m <sup>2</sup>
UNIT 3	50.3 m <sup>2</sup>
VERANDAH UNIT 1	11.9 m <sup>2</sup>
VERANDAH UNIT 2	12.0 m <sup>2</sup>
VERANDAH UNIT 3	11.9 m <sup>2</sup>
GRAND TOTAL	186.7 m <sup>2</sup>

**EXACT NUMBER OF STAIR RISERS REQUIRED MUST BE DETERMINED FROM SITE VISIT PRIOR TO STAIR FABRICATION**

66 Pioneer Road,  
Yandina, QLD 4561

Ph: 07 5472 7444  
Olyhomes.com.au

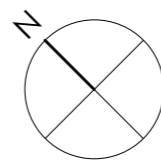
QBCC. No: 1156073

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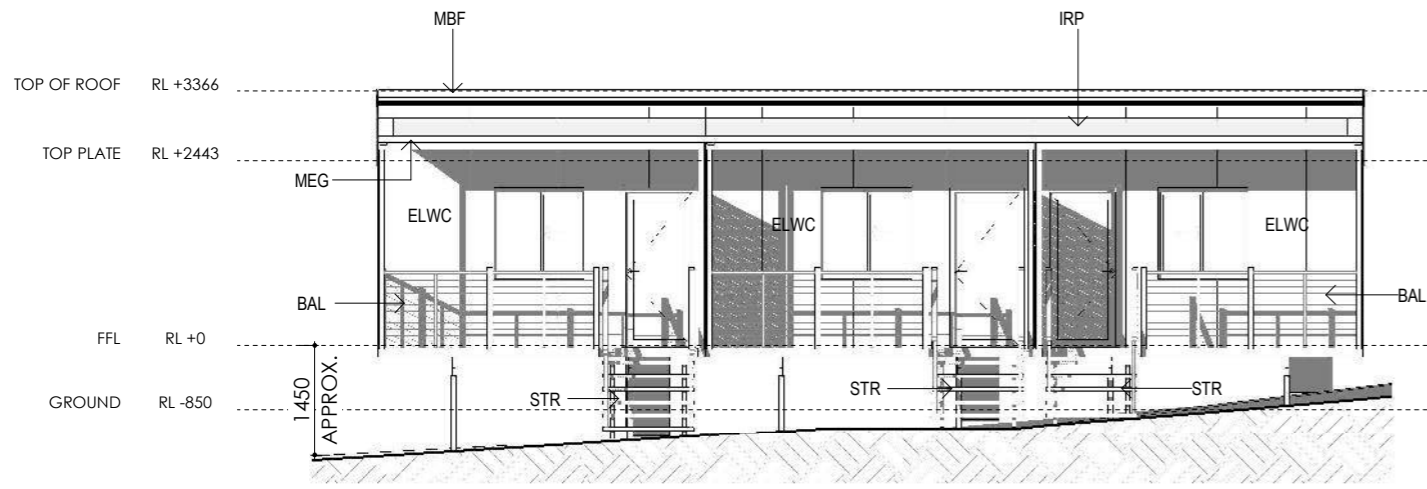
REVISIONS		
#	REVISION DESCRIPTION	DATE
1	CO ISSUE	08/09/2023
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SITE OWNER:  
**UNITING CHURCH OF AUSTRALIA**

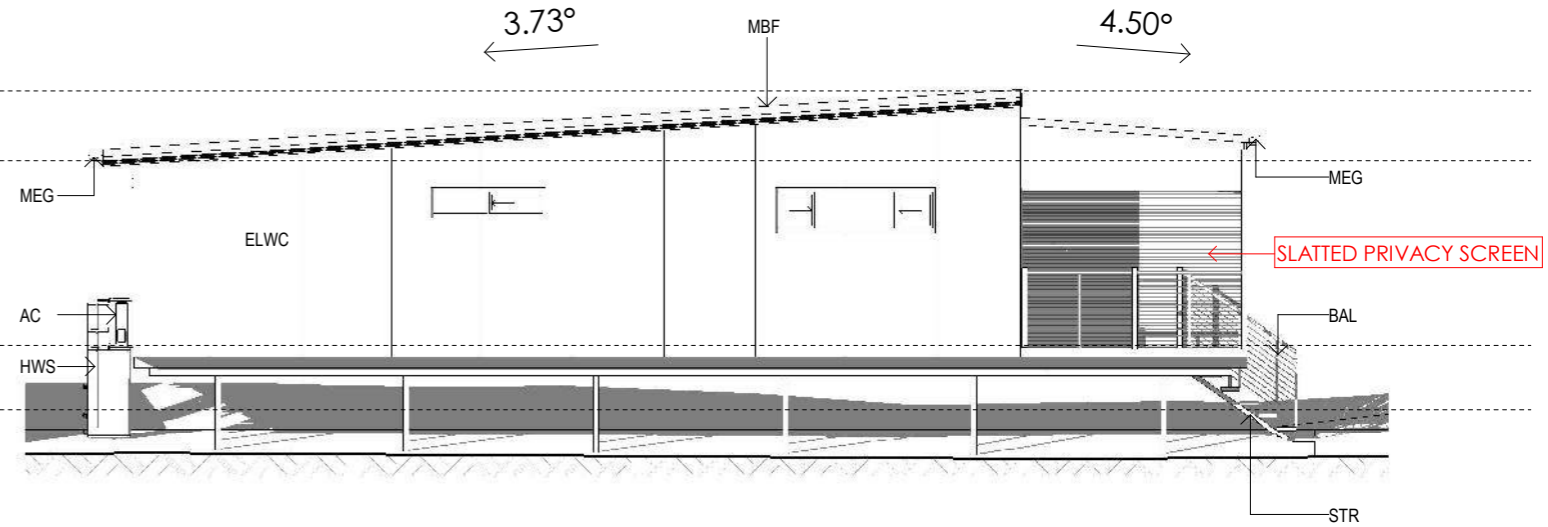
SITE ADDRESS:  
DOUGLAS STREET  
THURSDAY ISLAND QLD 4875



JOB NUMBER: THURSDAY ISLAND	
STUDIO UNITS FLOOR PLAN	
PROJECT ISSUE DATE: 08/09/2023	WD-24.1
SHEET ISSUE DATE: 27/03/2024	
DRAWN: ES	SHEET SIZE: A3 SCALE: 1 : 100



1 EAST ELEVATION  
SCALE 1 : 100



2 SOUTH ELEVATION  
SCALE 1 : 100

EXACT NUMBER OF STAIR RISERS  
REQUIRED MUST BE DETERMINED FROM  
SITE VISIT PRIOR TO STAIR FABRICATION

**TORRES SHIRE COUNCIL**

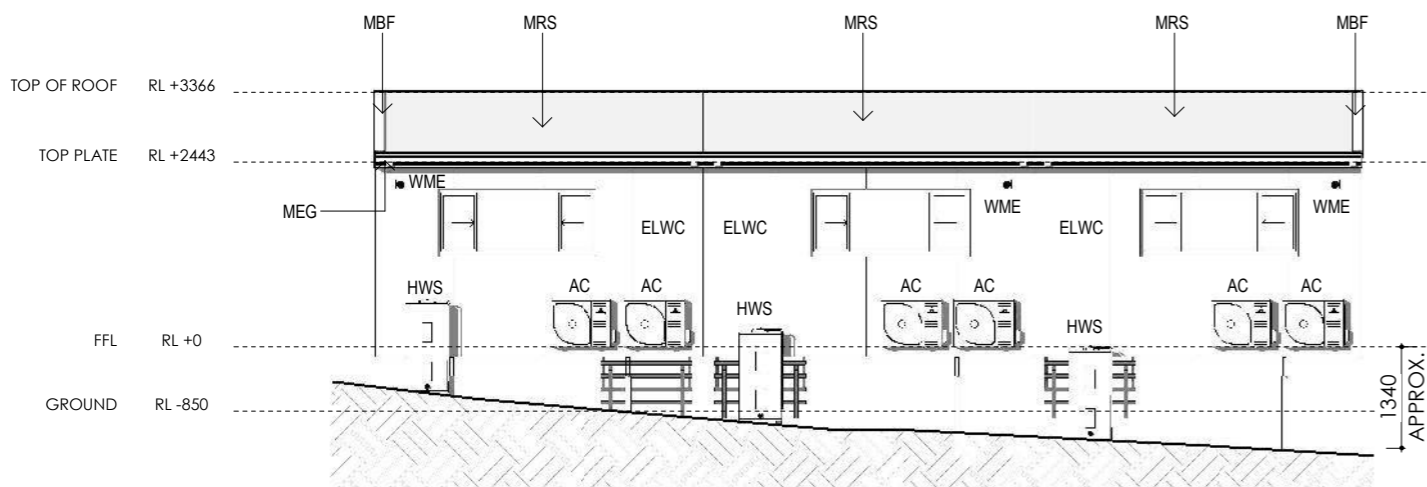
**DIGITALLY STAMPED  
APPROVED PLAN**

**Development Application:** Development Permit for Material Change of Use — Multiple Dwelling and Reconfiguration of a Lot (rearranging the boundary)

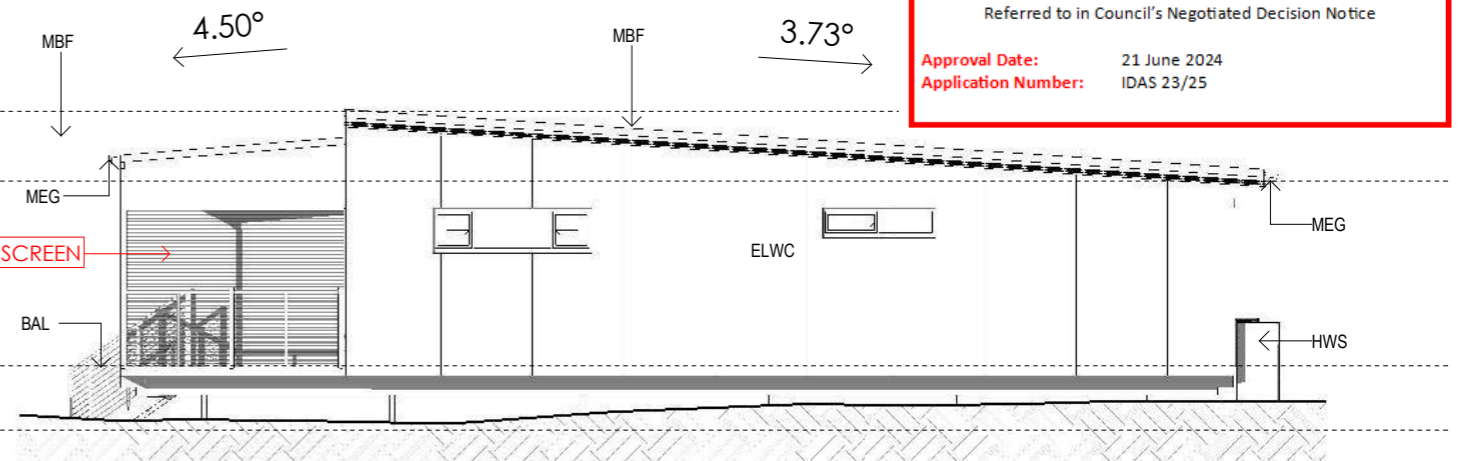
**Lot details:** Lot 1 RP700579 and Lot 2 RP744714

Referred to in Council's Negotiated Decision Notice

**Approval Date:** 21 June 2024  
**Application Number:** IDAS 23/25



3 WEST ELEVATION  
SCALE 1 : 100



4 NORTH ELEVATION  
SCALE 1 : 100

**STANDARD BUILDING MATERIALS:**  
(UNLESS STATED OTHERWISE)

**ROOF MATERIAL:**  
COLORBOND METAL ROOF SHEETING  
INSTALLED IN ACCORDANCE WITH  
"AS 1562-1992" & THE MANUFACTURER'S  
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**FASCIA & GUTTERS:**  
COLORBOND GUTTER & FASCIA IN  
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MEG	METAL EAVES GUTTER AND FASCIA - COLORBOND
MRS	METAL ROOF SHEETING - COLORBOND TRIMDEK
STR	ALUMINIUM NON SLIP STAIR TREADS ON GAL STEEL STRINGERS
WME	WALL MOUNTED EXHAUST FAN



66 Pioneer Road,  
Yandina, QLD 4561

Ph: 07 5472 7444  
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QBCC. No: 1156073

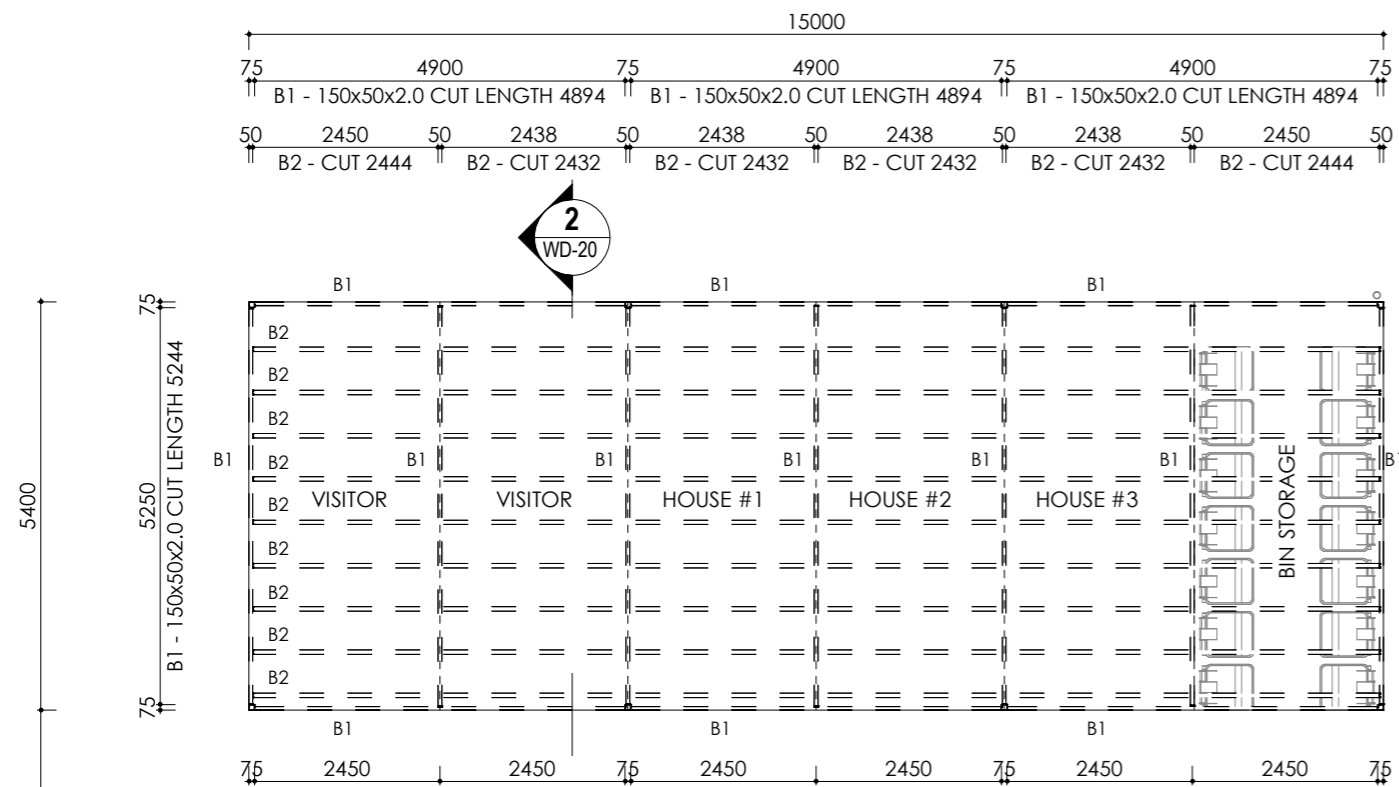
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SITE OWNER:  
**UNITING CHURCH OF AUSTRALIA**

SITE ADDRESS:  
DOUGLAS STREET  
THURSDAY ISLAND QLD 4875

JOB NUMBER: THURSDAY ISLAND	
STUDIO UNITS ELEVATIONS	
PROJECT ISSUE DATE: 08/09/2023	WD-25
SHEET ISSUE DATE: 27/03/2024	
DRAWN: ES	SHEET SIZE: A3 SCALE: 1 : 100



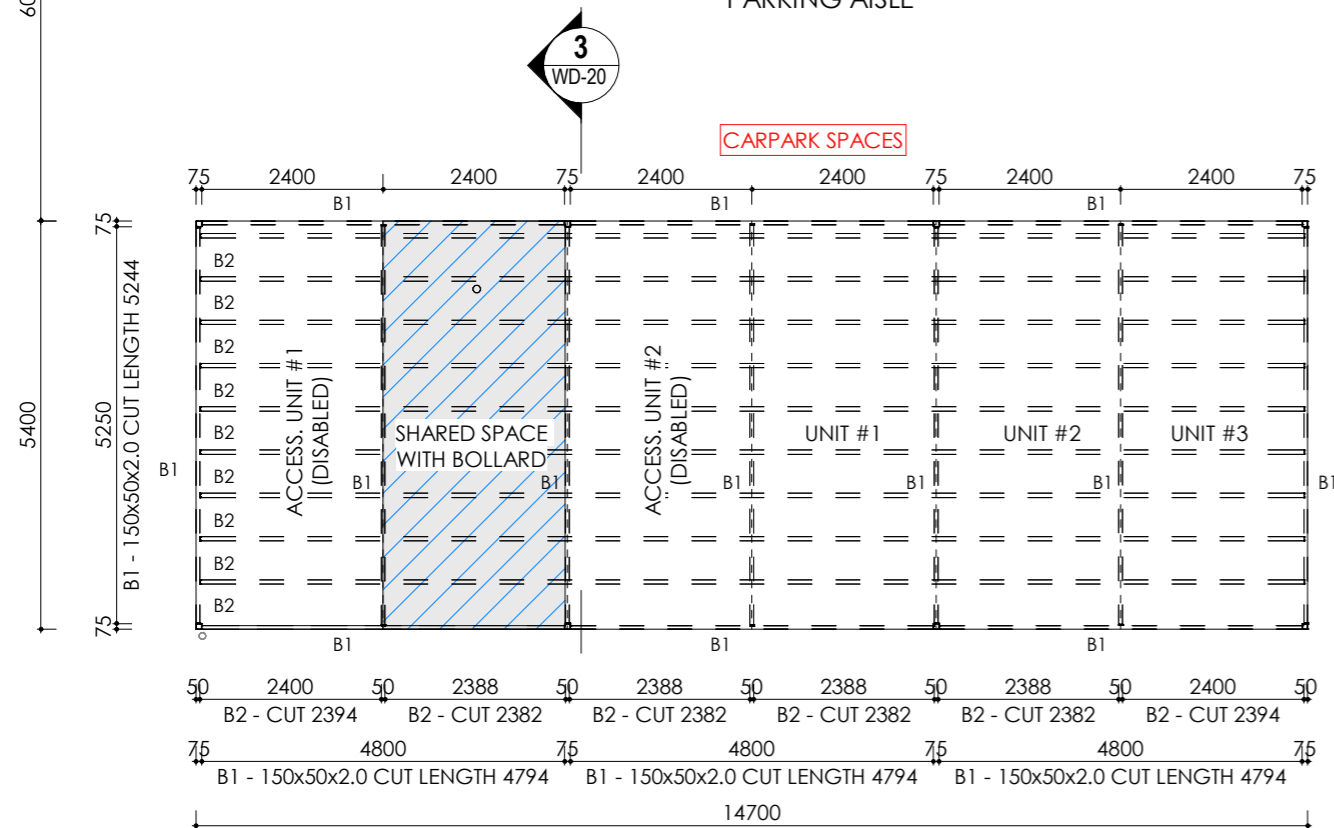
CARPARK SPACES

**B1** - 150x50x2.0

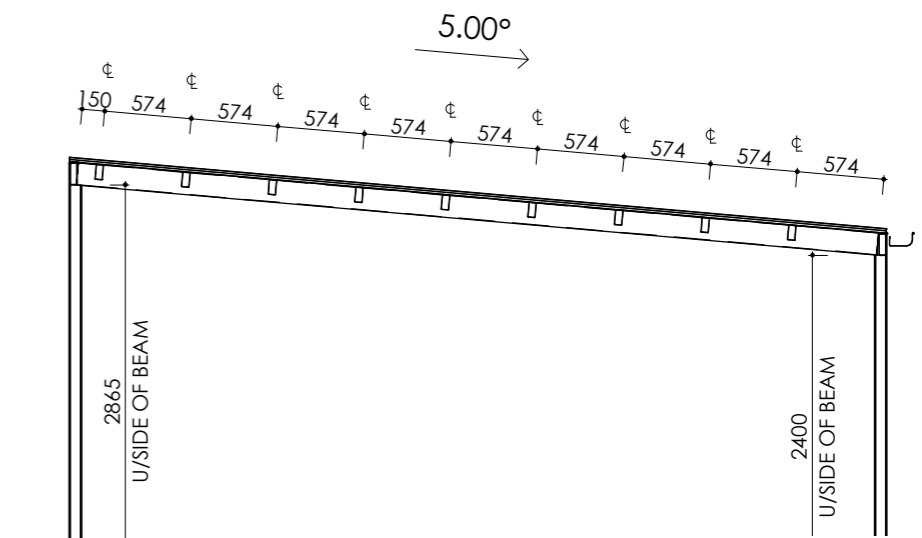
**B2** - 100x50x2.0

PARKING AISLE

CARPARK SPACES



**1** DOUGLAS STREET CARPORT PLAN  
SCALE 1 : 100



**2** DOUGLAS CARPORT SECTION  
SCALE 1 : 50

**TORRES SHIRE COUNCIL**

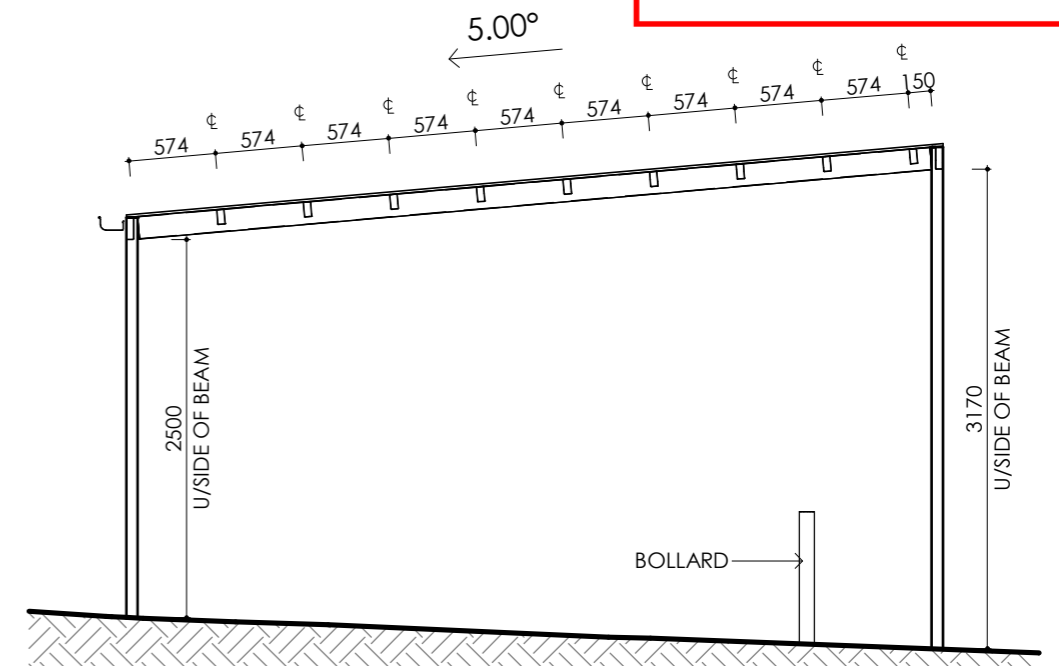
**DIGITALLY STAMPED  
APPROVED PLAN**

**Development Application:** Development Permit for Material Change of Use — Multiple Dwelling and Reconfiguration of a Lot (rearranging the boundary)

**Lot details:** Lot 1 RP700579 and Lot 2 RP744714

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**3** DOUGLAS DISABLED CARPORT SECTION  
SCALE 1 : 50



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Yandina, QLD 4561

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QBCC. No: 1156073

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REVISIONS

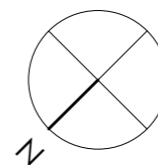
#	REVISION DESCRIPTION	DATE
1	CO ISSUE	08/09/2023
2	REVISED CO ISSUE	27/09/2023
3	REVISED CO ISSUE	24/10/2023
4	REVISED CO ISSUE	16/11/2023
5	REVISED CO ISSUE	21/02/2024

SITE OWNER:

**UNITING CHURCH OF AUSTRALIA**

SITE ADDRESS:

CHESTER STREET & DOUGLAS STREET  
THURSDAY ISLAND 4875



JOB NUMBER: THURSDAY ISLAND

DOUGLAS STREET CARPORT DETAILS

PROJECT ISSUE DATE: 08/09/2023

SHEET ISSUE DATE: 21/02/2024

DRAWN: ES

WD-20

SHEET SIZE: A3 SCALE: As indicated

**TORRES SHIRE COUNCIL**

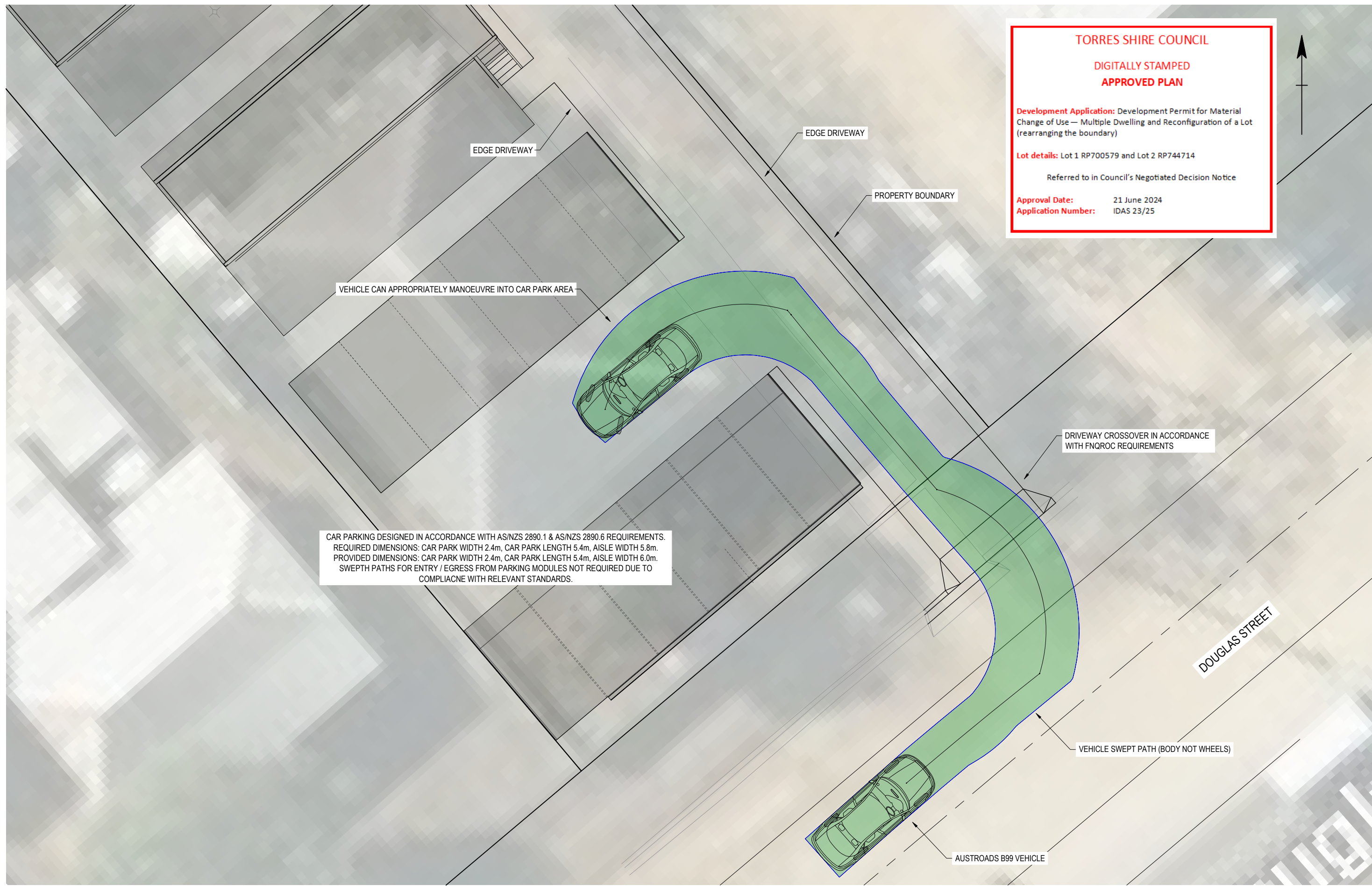
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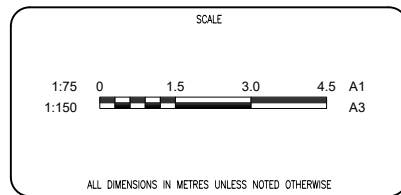


CAR PARKING DESIGNED IN ACCORDANCE WITH AS/NZS 2890.1 & AS/NZS 2890.6 REQUIREMENTS.  
 REQUIRED DIMENSIONS: CAR PARK WIDTH 2.4m, CAR PARK LENGTH 5.4m, AISLE WIDTH 5.8m.  
 PROVIDED DIMENSIONS: CAR PARK WIDTH 2.4m, CAR PARK LENGTH 5.4m, AISLE WIDTH 6.0m.  
 SWEPH PATHS FOR ENTRY / EGRESS FROM PARKING MODULES NOT REQUIRED DUE TO COMPLIACNE WITH RELEVANT STANDARDS.

NO.	DATE	DESCRIPTION	DESIGN	APPROVED
1	11.03.24	INITIAL ISSUE		

CLIENT

**UNITING CHURCH  
IN AUSTRALIA**



DRAWN	CW	CHECKED	DJW
DESIGNED	CW	CHECKED	DJW
APPROVED			
DATE:		RPEQ:	

<b>CHESTER / DOUGLAS STREET DEVELOPMENT</b>	
<b>SWEPT PATH ANALYSIS</b>	
<b>AUSTROADS B99 VEHICLE - ENTRY</b>	
DRAWING NO.	REVISION
144-038-SK02	1

**TORRES SHIRE COUNCIL**

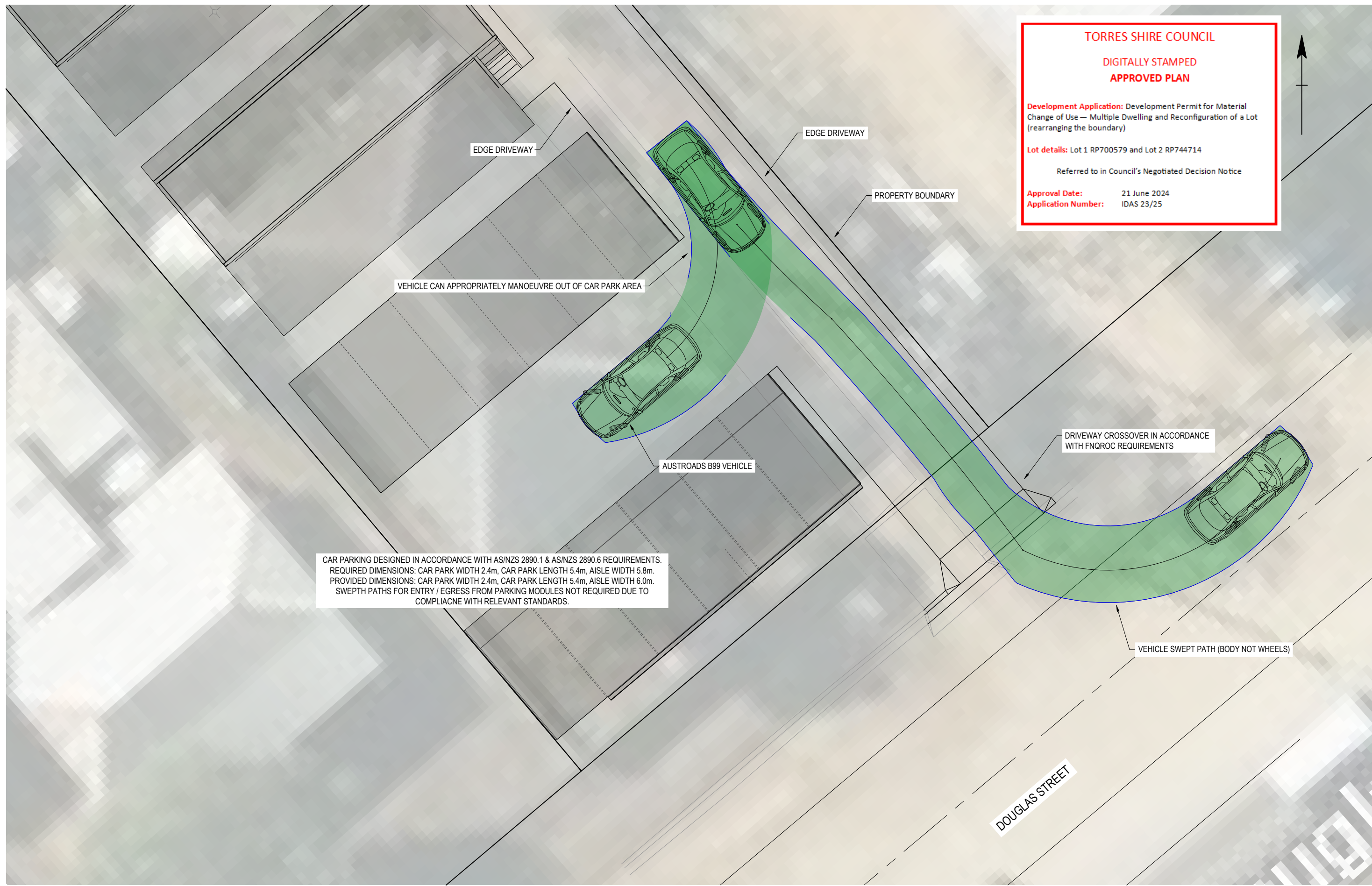
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**APPROVED PLAN**

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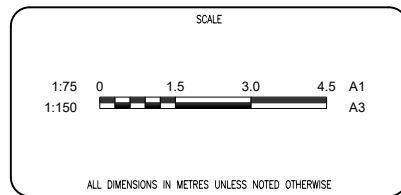
**Approval Date:** 21 June 2024  
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 SWEPH PATHS FOR ENTRY / EGRESS FROM PARKING MODULES NOT REQUIRED DUE TO COMPLIACNE WITH RELEVANT STANDARDS.

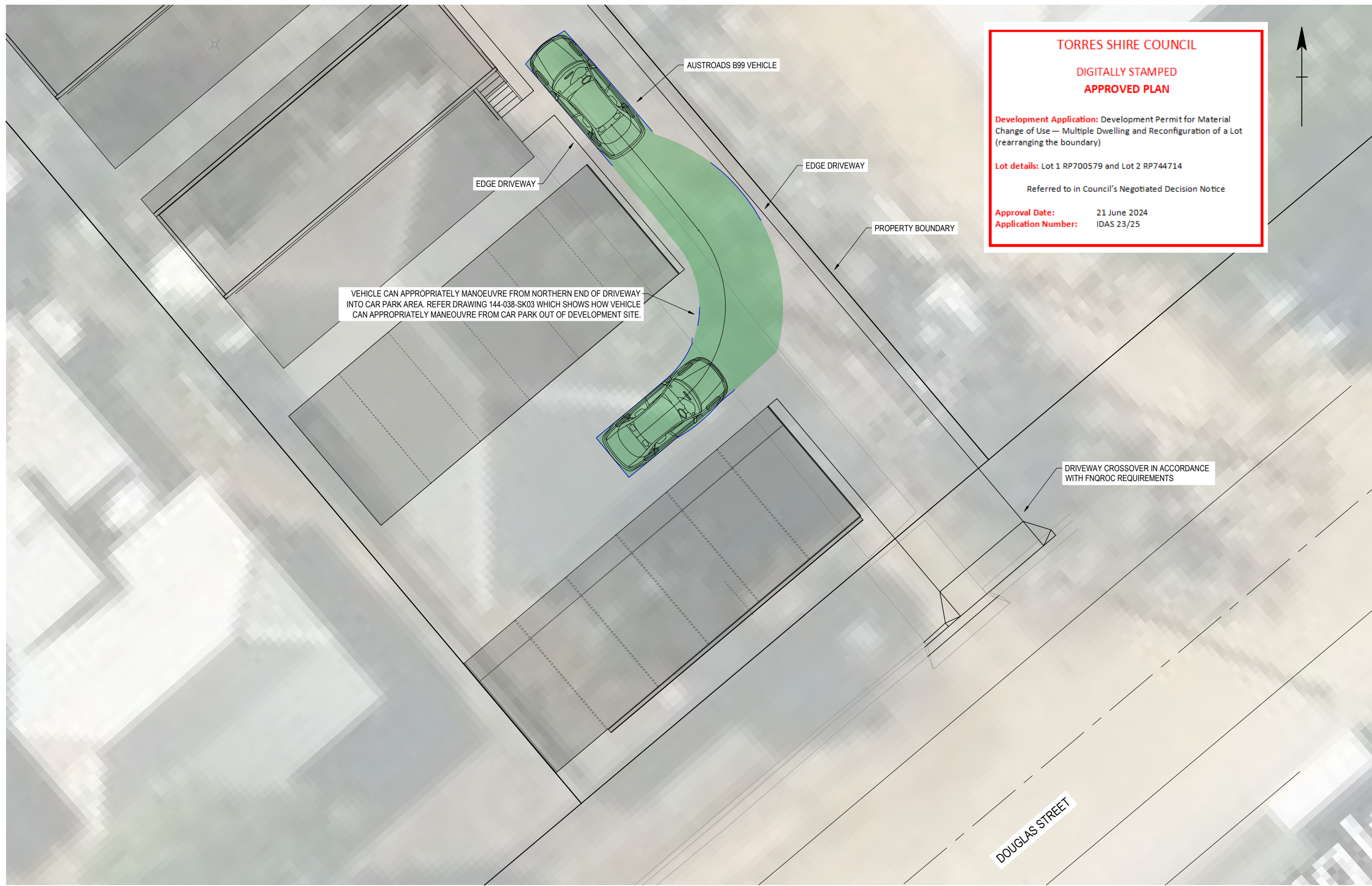
NO.	DATE	DESCRIPTION	DESIGN	APPROVED
1	11.03.24	INITIAL ISSUE		

CLIENT  
**UNITING CHURCH  
IN AUSTRALIA**



DRAWN	CW	CHECKED	DJW
DESIGNED	CW	CHECKED	DJW
APPROVED			
DATE:		RPEQ:	

<b>CHESTER / DOUGLAS STREET DEVELOPMENT</b>	
<b>SWEPT PATH ANALYSIS</b>	
<b>AUSTROADS B99 VEHICLE - EXIT</b>	
DRAWING NO.	REVISION
144-038-SK03	1



**TORRES SHIRE COUNCIL**  
**DIGITALLY STAMPED**  
**APPROVED PLAN**

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**Application Number:** IDAS 23/25



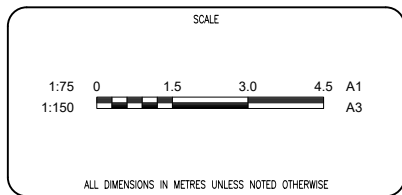
VEHICLE CAN APPROPRIATELY MANOEUVRE FROM NORTHERN END OF DRIVEWAY INTO CAR PARK AREA. REFER DRAWING 144-038-SK03 WHICH SHOWS HOW VEHICLE CAN APPROPRIATELY MANEUVRE FROM CAR PARK OUT OF DEVELOPMENT SITE.

DRIVEWAY CROSSOVER IN ACCORDANCE WITH FNQROC REQUIREMENTS

DOUGLAS STREET

NO.	DATE	DESCRIPTION	DESIGN	APPROVED
1	11.03.24	INITIAL ISSUE		

CLIENT  
**UNITING CHURCH  
 IN AUSTRALIA**

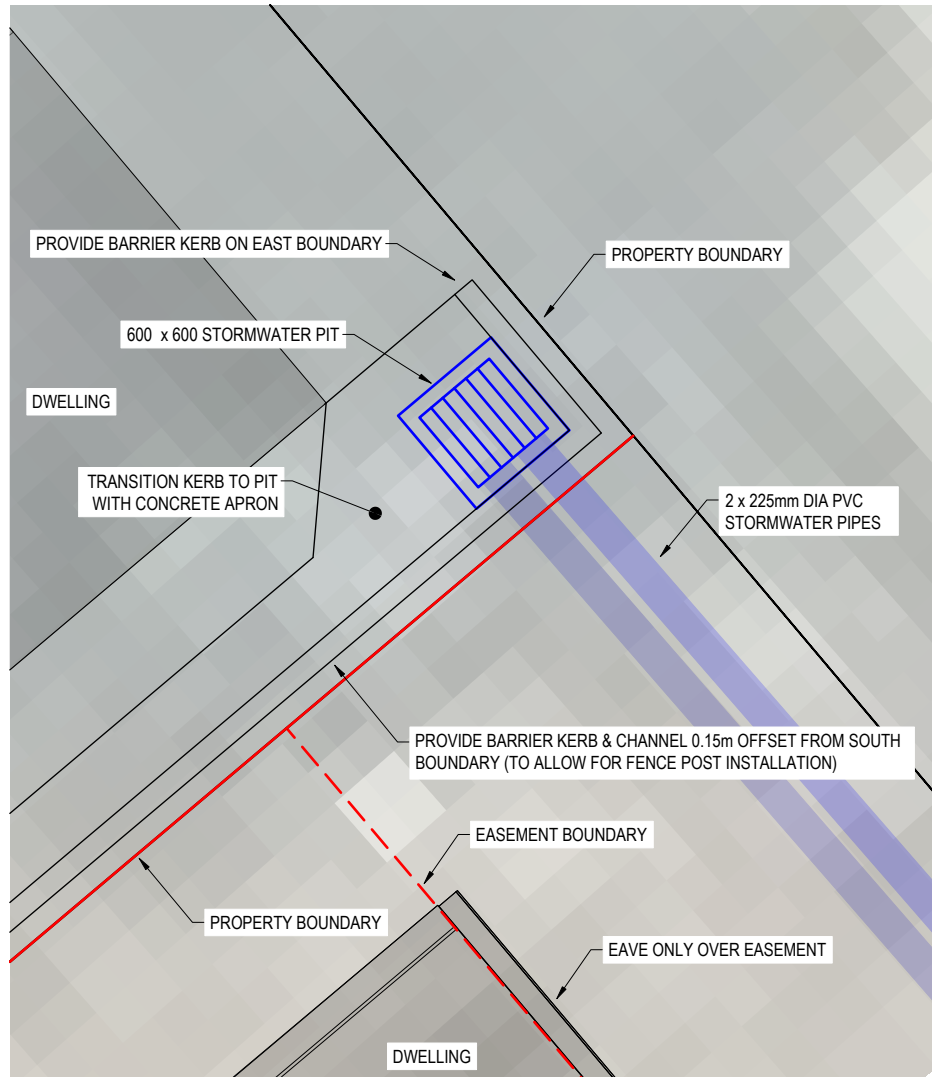


DRAWN	CW	CHECKED	DJW
DESIGNED	CW	CHECKED	DJW
APPROVED			
DATE:		RPEQ:	

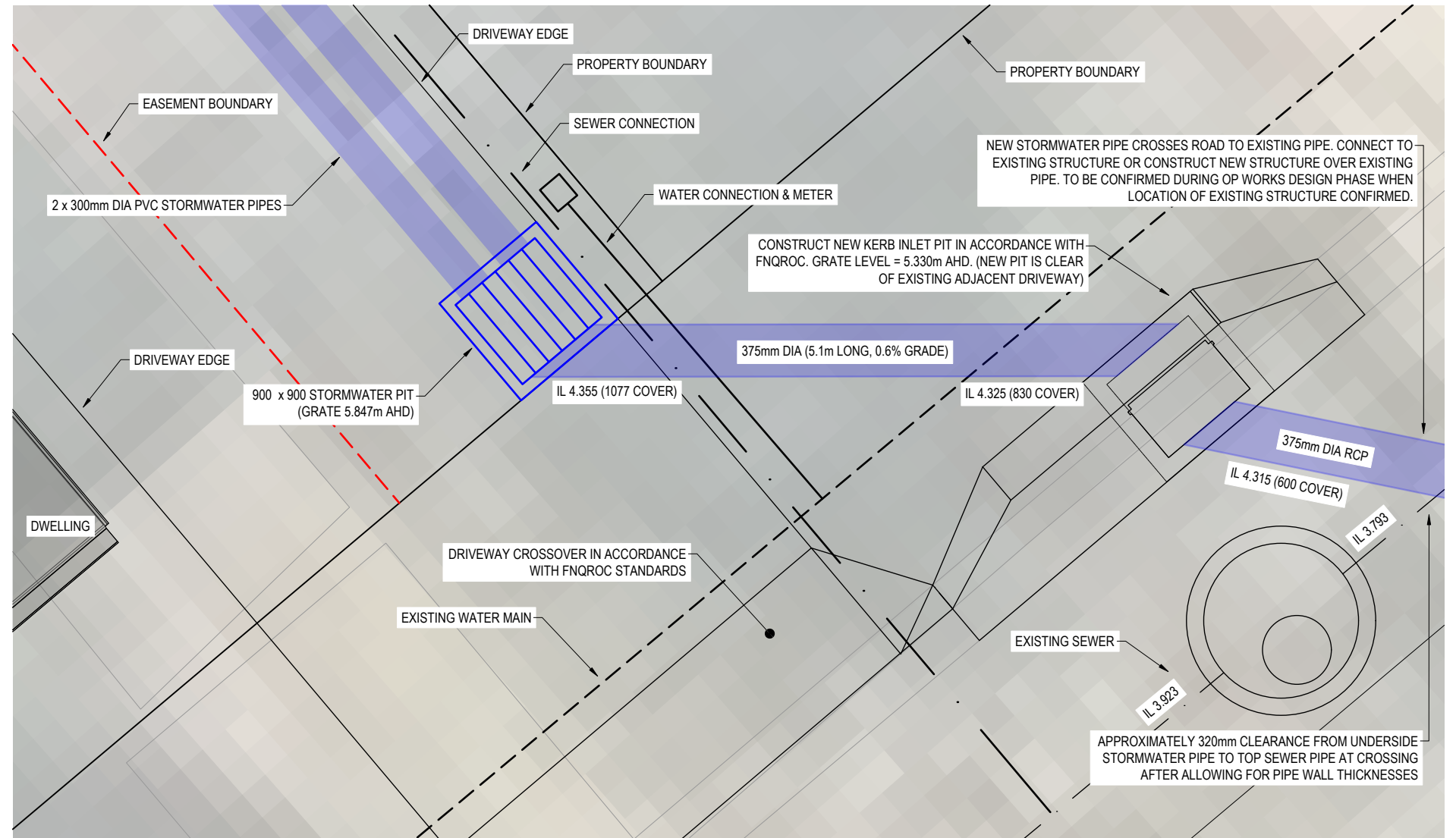
**CHESTER / DOUGLAS STREET DEVELOPMENT**  
**SWEPT PATH ANALYSIS**  
**AUSTROADS B99 VEHICLE - DRIVEWAY**

DRAWING NO. **144-038-SK04** REVISION **1**

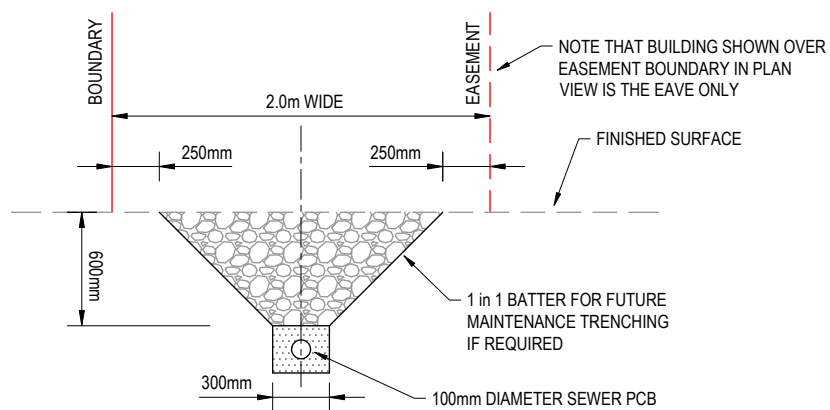




**CHESTER STREET LOT DRAINAGE**  
N.T.S



**DOUGLAS STREET LOT DRAINAGE**  
N.T.S



**SEWER PCB EASEMENT DETAIL**  
N.T.S

**TORRES SHIRE COUNCIL**

**DIGITALLY STAMPED**  
**APPROVED PLAN**

**Development Application:** Development Permit for Material Change of Use — Multiple Dwelling and Reconfiguration of a Lot (rearranging the boundary)

**Lot details:** Lot 1 RP700579 and Lot 2 RP744714

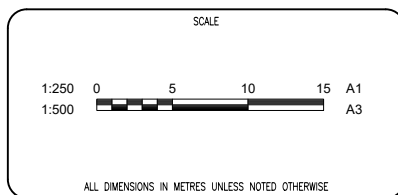
Referred to in Council's Negotiated Decision Notice

**Approval Date:** 21 June 2024  
**Application Number:** IDAS 23/25

NO.	DATE	DESCRIPTION	DESIGN	APPROVED
2	05.04.24	COUNCIL COMMENTS	CW	DJW
1	11.03.24	INITIAL ISSUE		

CLIENT

**UNITING CHURCH  
IN AUSTRALIA**



DRAWN	CW	CHECKED	DJW
DESIGNED	CW	CHECKED	DJW
APPROVED			
DATE:		RPEC:	

<b>CHESTER / DOUGLAS STREET DEVELOPMENT</b>	
<b>ENGINEERING REPORT</b>	
<b>SUPPORTING DRAWING - MISCELLANEOUS DETAILS</b>	
DRAWING NO. <b>144-038-SK05</b>	REVISION <b>2</b>



## NOTICE ABOUT DECISION – STATEMENT OF REASONS

*This Notice is prepared in accordance with s63(5) and s83(9) of the Planning Act 2016 to provide information about a decision that has been made in relation to a development application. The purpose of the Notice is to enable a public understanding of the reasons for the planning decision, specifically having regard to:*

- *the relevant parts of the Planning Scheme and Assessment Benchmarks against which the application was assessed; and*
- *any other information, documents or other material Council was either required to, or able to, consider in its assessment.*

*All terms used in this Notice have the meanings given them in the Planning Act 2016 or otherwise their ordinary meaning.*

### APPLICATION DETAILS

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Application No:	IDAS23/25
Applicant:	The Uniting Church in Australia c/ Urban Sync Pty Ltd
Proposal:	Development Permit for Material Change of Use and Reconfiguring a Lot
Description of the Development:	Multiple Dwelling and Reconfiguring a Lot (rearranging the boundary)
Street Address:	6 Chester Street and 142 Douglas Street, Thursday Island
Real Property Description:	Lot 1 RP700579 and Lot 2 RP744714
Planning Scheme:	<i>Torres Shire Council Planning Scheme 2022</i>
Land Zoning:	Low-Medium Density Residential
Assessment Type:	Code

### DECISION DETAILS

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Type of Decision:	Approval with Conditions
Type of Approval:	Development Permit for Material Change of Use (Multiple Dwelling) and Reconfiguring a Lot (rearranging the boundary)
Date of Decision:	23 April 2024

### ASSESSMENT BENCHMARKS

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The following Assessment Benchmarks applied to the development from the following Categorising Instruments:

#### **Categorising Instrument (*Planning Regulation 2017*)**

This application did not trigger any matters prescribed by the regulation

## **Categorising Instrument (State Planning Policy - July 2017)**

### **Local Categorising Instrument (Torres Shire Council Planning Scheme 2022):**

#### Standard Outcomes

- Low-Medium Density Residential
- Accommodation Activities
- Landscaping
- Parking, Access and Transport
- Reconfiguring a Lot
- Works, Services and Infrastructure
- Airport Environs Overlay
- Heritage Overlay
- Potential and Actual Acid Sulfate Soils Overlay

#### Merit Outcomes

- General
- Built Form and Development Design
- Amenity and Privacy
- Reconfiguring a Lot
- Parking, Access and Transport

### **Local Categorising Instrument (Variation Approval)**

- Not applicable.

### **Local Categorising Instrument (Temporary Local Planning Instrument)**

- Not applicable.

## **PUBLIC NOTIFICATION**

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Not applicable – no part of the application required public notification.

## **REASONS FOR THE DECISION**

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The application is **approved** on the following grounds:

- (a) The proposal achieves compliance with the relevant assessment benchmarks in the Torres Shire Council Planning Scheme 2022.
- (b) The proposed lots are adequate size and dimension to accommodate the proposed Multiple Dwelling development and future dwelling house.
- (c) The proposed Multiple Dwelling units are appropriately designed and responsive to the character of Thursday Island.
- (d) The proposed Multiple Dwelling development is consistent with the purpose of the Low-Medium Density Residential zone.
- (e) The proposed development is unlikely to have an adverse impact on the amenity of the surrounding area.

## **REASONS FOR APPROVAL DESPITE NON-COMPLIANCE WITH ASSESSMENT BENCHMARKS**

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Not applicable.

## **ADDITIONAL RELEVANT MATTERS FOR IMPACT ASSESSMENT**

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Not applicable.

## **OTHER MATTERS PRESCRIBED BY THE PLANNING REGULATION 2017**

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Not applicable.

## **OTHER DETAILS**

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If you wish to obtain more information about Council's decision, please refer to Council's webpage at <https://www.torres.qld.gov.au/development-applications-1>

## **APPEAL RIGHTS**

*(Planning Act 2016 & Planning Regulation 2017)*

Attached under separate cover (this page has been intentionally left blank)