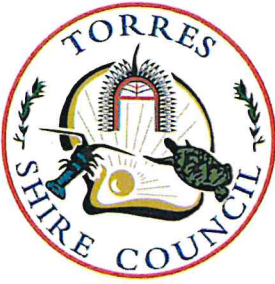


TORRES SHIRE COUNCIL



PO Box 171
THURSDAY ISLAND 4875

Telephone (07) 4069 1336
Facsimile (07) 4069 1845

Email: admin@torres.qld.gov.au
Website: www.torres.qld.gov.au
ABN: 34 108 162 398

Our Ref: IDAS 22/04
Enquire to: Joseph Sabatino
Telephone: (07) 4083 1213

19 August 2022

OSE Group Pty Ltd
c/- Peter De Roma
PO Box 809
Edge Hill QLD 4870

E-mail: peter.deroma@osegroup.com.au

Dear Sir

Decision Notice – Approval

Given under section 63 of the Planning Act 2016

With reference to the abovementioned Development Application, please find attached the relevant Decision Notice, which was approved by Torres Shire Council in full, subject to conditions. Details of the decision are as follows:

DATE OF DECISION

Council approved the Development Application at the Council meeting on 16 August 2022.

APPLICATION DETAILS

Application No:	IDAS 22/04
Approval Sought:	Development Permit for Operational Works
Description of the Development	Stormwater and drainage work, internal access driveway and erosion and sediment control.
Planning Scheme:	Torres Shire Planning Scheme 2022

LOCATION DETAILS

Street Address:	51 John Street, Thursday Island
Real Property Description:	Lots 0 - 5 on SP262336

DECISION DETAILS

The following type of approval has been issued:

- Development Permit for Operational Works (Stormwater and drainage works, internal access driveway and erosion and sediment control)

CURRENCY PERIOD

The use of the subject land must be commenced within a period of two (2) years from the date the approval takes effect, in accordance with section 85 of the *Planning Act 2016*. Should the subject use not be commenced prior to the expiry of such period, this approval will lapse.

ASSESSMENT MANAGER CONDITIONS

This approval is subject to the conditions in *Attachment 1*.

PROPERLY MADE SUBMISSIONS

Not applicable – no part of the application required public notification.

REFERRAL AGENCIES

There were no referral agencies as part of this application.

FURTHER DEVELOPMENT PERMITS REQUIRED

- None

OTHER REQUIRMENTS UNDER SECTION 43 OF THE PLANNING REGULATION 2017

Not Applicable

APPROVED PLANS AND SPECIFICATIONS

The approved plans are attached to this Decision Notice (*Attachment 2*).

RIGHTS OF APPEAL

You are entitled to appeal against this decision. A copy of the relevant appeal provisions from the Planning Act 2016 is attached.

OTHER DETAILS

You are further advised that the truth and accuracy of the information provided in the application form and accompanying information is relied on when assessing and deciding this application. If you find an inaccuracy in any of the information provided above or have a query or need to seek clarification about any of these details, please contact Torres Shire Council on (07) 4069 1336.

DELEGATED PERSON

Name: Dalassa Yorkston

Signature:



Date: 19 August 2022

Enc. **Attachment 1** – Conditions Imposed by the Assessment Manager
Attachment 2 – Approved Plans
Attachment 3 – Notice about a Decision Notice
Attachment 4 – Extract of Appeal Provisions (Chapter 6 of the *Planning Act 2016*).

CONDITIONS IMPOSED BY THE ASSESSMENT MANAGER

A ASSESSMENT MANAGER (COUNCIL) CONDITIONS

1.0 PARAMETERS OF APPROVAL

- 1.1 The Developer is responsible for ensuring compliance with this development approval and the conditions of the approval by an employee, agent, contractor, or invitee of the Developer at all times unless otherwise stated.

Timing: At all times.

- 1.2 Where these conditions refer to "TSC" in relation to requiring Torres Shire Council to approve or be satisfied as to any matter, or conferring on the TSC a function, power or discretion, that role of the TSC may be fulfilled in whole or in part by a delegate appointed for that purpose by TSC.

Timing: At all times.

- 1.3 The developer is required to have repaired any damage to existing infrastructure that may have occurred during any works carried out associated with the development. To the extent the damage is deemed to create a hazard to the community, it must be repaired immediately.

Timing: At all times.

- 1.4 Unless otherwise stated, all works must be designed, constructed, and maintained in accordance with the relevant TSC policies, guidelines, standards, and the FNQROC Development Manual.

Timing: At all times.

- 1.5 The cost of all works associated with the development and construction of the development including services, facilities and/or public utility alterations required are met at no cost to the Council or relevant utility provider, unless otherwise stated in a development condition.

Timing: At all times.

- 1.6 All development conditions contained in this development approval about *infrastructure* under Chapter 4 of the *Planning Act 2016* (the Act), should be read as being non-trunk infrastructure conditioned under section 145 of the Act, unless otherwise stated.

Timing: At all times

2.0 APPROVED PLANS AND DOCUMENTS

- 2.1 The approved development must be completed and maintained generally in accordance with the approved plans and documents, except where amended by the conditions of this permit.

Plan/Document Name	Drawing Number	Sheet No.	Date
Cover Sheet, Locality Plan and Drawing Index	22080 - Rev A	C000	21.06.22
Current Surface Plan	22080 - Rev A	C001	21.06.22
Siteworks Plan and Setout	22080 - Rev A	C002	21.06.22
Detention Basin Plan, Arrangement and Details	22080 - Rev A	C003	21.06.22
Concrete and Masonry Block Retaining Wall Structural Details	22080 - Rev A	C004	21.06.22
Masonry Block Retaining wall notes	22080 - Rev A	C0005	21.06.22
Erosion and Sediment Control Strategy	22080 - Rev A	C0006	21.06.22
Site Survey Investigation Sketch – Sheet 1 of 2	22080 - Rev A	SK001	21.06.22

Site Survey Investigation Sketch – Sheet 2 of 2	22080 - Rev A	SK002	21.06.22
Catchment Plans – pre and post development	22080 - Rev A	SK003	21.06.22
Turnpath sketch	22080 - Rev A	SK004	21.06.22

Timing: At all times.

- 2.2 Where there is any conflict between the conditions of this approval and the details shown on the approved plans and documents, the conditions of approval must prevail.

Timing: At all times.

- 2.3 Any amendments to the drawings required by the conditions herein must be submitted to Council for approval.

Timing: At all times.

- 2.4 All engineering drawings/specifications, design and construction works must be approved, supervised and certified by a Registered Professional Engineer of Queensland (RPEQ).

3.0 AMENDMENT TO APPROVED PLAN

- 3.1 Amended plans detailing screens for the detention basin outlets must be submitted to Council for approval. The screens must be designed to reduce the likelihood that the outlets will be blocked during a storm event.

Timing: Prior to the pre-start meeting.

4.0 STORMWATER MANAGEMENT

- 4.1 A maintenance plan for the stormwater detention basin must be submitted to Council for approval. The plan must outline an inspection schedule and maintenance program to ensure the proper function of the detention basin. A risk assessment must be conducted on the operation and maintenance of the detention basin.

Timing: Prior to the pre-start meeting.

- 4.2 The stormwater detention basin must be inspected and maintained in accordance with the approved maintenance plan. Should the detention basin require any modifications the proposed modifications must be designed and signed off by an RPEQ and submitted to Council for approval.

Timing: At all times.

- 4.3 Prior to the commencement of works a prestart meeting must be undertaken with an RPEQ and Council's delegated officer.

Timing: Prior to the commencement of works.

- 4.4 The constructed detention basin must be signed off by an RPEQ, certifying the construction of the detention basin meets the design intent with regard to hydraulic performance.

Timing: Prior to lodgement of the New CMS with the Titles Office.

5.0 COMMUNITY MANAGEMENT STATEMENT

- 5.1 A copy of the New CMS must be submitted to Council for review and approval. The New CMS must be amended to incorporate the stormwater infrastructure and updated service location diagram (Schedule D) incorporating all services and stormwater detention infrastructure.

Timing: Prior to lodgement of the New CMS with the Titles Office.

- 5.2 Prior to lodgement of the New CMS with the Titles Office, a completed Form 18C must be submitted to Council for endorsement. At the time of registration of the New CMS, Form 18C must be deposited with Form 14 General Consent.

Timing: Prior to lodgement of the New CMS with the Titles office.

- 5.3 Prior to issue of a Development Approval for Building Works, all works must be completed on site and signed off by an RPEQ and the New CMS registered with the Titles Office.

Timing: Prior to issue of a Development Approval for Building Works.

6.0 WATER SUPPLY

- 6.1 Each lot must be connected to the internal water reticulation network.

Timing: Prior to issue of a Development Approval for Building Works.

7.0 SEWERAGE CONNECTION

- 7.1 Each lot must be connected to the internal sewerage reticulation network.

Timing: Prior to issue of a Development Approval for Building Works.

8.0 FENCING

- 8.1 Construct a fence 1.8m high, from the level of the driveway, along the side and rear boundaries of the site. Fencing along the eastern side boundary must be a solid screen fence (no gaps).

Timing: Prior to issue of a development Approval for Building Works.

9.0 SITE WORKS AND EROSION AND SEDIMENT CONTROL

- 9.1 Implement the approved Erosion and Sediment Control Plan for the duration of the construction phase and until such time all exposed soils areas are permanently stabilised (for example, turfed, hydro mulched, concreted, or landscaped).

Timing: At all times.

10.0 ELECTRICITY & TELECOMMUNICATIONS

- 10.1 Electricity and telecommunication services must be provided to each lot, or arrangements made in accordance with the standards and requirements of the relevant service provider.

Timing: Prior to issue of a Development Approval for Building Works.

11.0 AMENITY AND ENVIRONMENTAL HEALTH

- 11.1 Undertake the approved development so there is no environmental nuisance or detrimental effect on any surrounding land uses and activities by reason of the emission of noise, vibration, odour, fumes, smoke, vapour, steam soot, ash, wastewater, waste products, oil or otherwise.

Timing: At all times.

B. ASSESSMENT MANAGER (COUNCIL) ADVISORY NOTES

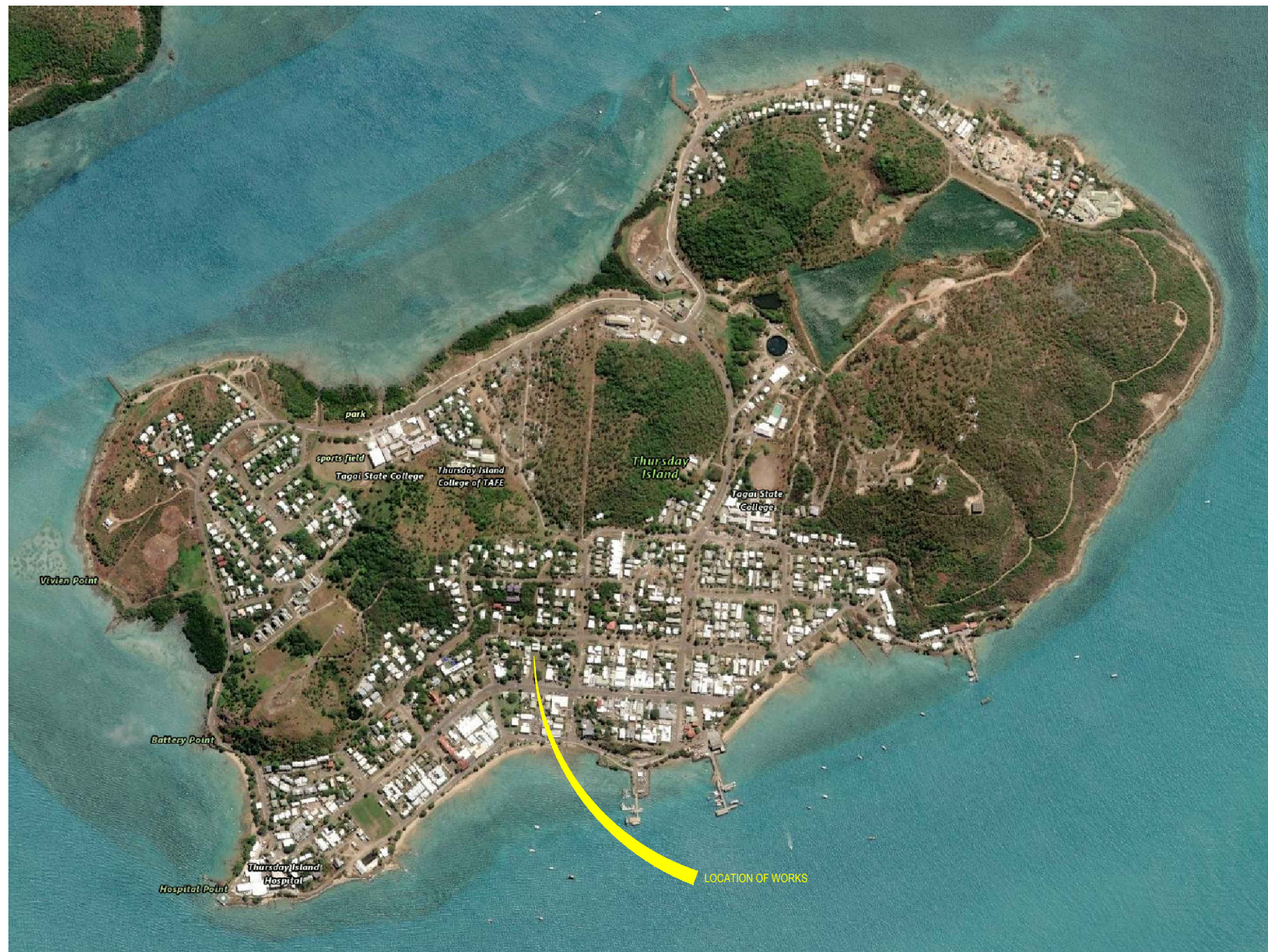
1. This approval, granted under the provisions of the Planning Act 2016, shall lapse two (2) years from the day the approval takes effect in accordance with the relevant provisions of s85 of the Planning Act 2016.
2. This approval does not negate the requirement for compliance with all other relevant Local Laws and other statutory requirements.
3. The Environmental Protections Act 1994 states a person must not carry out any activity that causes, or is likely to cause, environmental harm unless the person takes all reasonable and practicable measures to prevent or minimise the harm. Environmental harm includes environmental nuisance. In this regard, persons and entities, involved in civil, earthworks and construction phases of this development, are to adhere to their 'general environmental duty' to minimise the risk of causing environmental harm.
4. No building materials or the like are to be stored on the footpath unless an appropriate approval from Council is obtained, including the payment of associated fees.
5. All building site managers must take all action necessary to ensure building materials and/or machinery on construction sites are secured immediately following the first potential cyclone warning and that relevant emergency telephone contacts are provided to Council Officers, prior to Commencement of Works.

6. Environmental harm is defined by the Act as any adverse effect, or potential adverse effect whether temporary or permanent and of whatever magnitude, duration or frequency on an environmental value and includes environmental nuisance. Therefore, no person should cause any interference with the environment or amenity of the area by reason of the emission of noise, vibration, smell, fumes, smoke vapour, steam, soot, ash, dust, wastewater, waste products, grit, sediment, oil or otherwise, or cause hazards likely in the opinion of the Council.
7. In accordance with the Environmental Protection (Water & Wetland Biodiversity) Policy 2019, all sand, silt, mud, paint, cement, concrete, builders waste or rubbish shall not be permitted to enter or be placed where it could reasonably be expected to more into a roadside gutter, stormwater drain or watercourse. On the spot fines apply for such offences.
8. This development approval does not authorise any activity that may harm Aboriginal and Torres Strait Islander cultural heritage. It is also advised that any land use activities must comply with the Aboriginal Cultural Heritage Act 2003 or the Torres Strait Islander Heritage Act 2003.

APPROVED PLANS

Attached under separate cover (this page has been intentionally left blank)

51 JOHN STREET THURSDAY ISLAND - LOT 2 RP718647, SITE WORKS & DETENTION BASIN FOR PYSTER PTY LTD



DRAWING INDEX

DWG No.	TITLE
C000	COVER SHEET, LOCALITY PLAN AND DRAWING INDEX
C001	CURRENT SURFACE PLAN
C002	SITE PLAN AND SETOUT
C003	DETENTION BASIN - PLAN, ARRANGEMENT AND DETAILS
C004	CONCRETE AND MASONRY BLOCK RETAINING WALL STRUCTURAL DETAILS
C005	MASONRY BLOCK RETAINING WALL NOTES
C006	EROSION AND SEDIMENT CONTROL STRATEGY
SUPPLEMENTARY SKETCHES	
SK01	SITE SURVEY INVESTIGATION SKETCH - SHEET 1 OF 2
CK02	SITE SURVEY INVESTIGATION SKETCH - SHEET 2 OF 2
SK03	CATCHMENT PLANS - PRE AND POST DEVELOPMENT
SK04	TURN PATH SKETCH

TORRES SHIRE COUNCIL

**DIGITALLY STAMPED
APPROVED PLAN**

Development Application: Development Permit for Operational Works (Stormwater and drainage works, internal access driveway and erosion and sediment control)

Lot: 0 - 5 on SP262336

Referred to in Council's Decision Notice

Approval Date: 16 August 2022

Application Number: IDAS 22/04

A 21.06.22 FOR APPROVAL		DESIGNER OSE GROUP Address: 35 ABBOTT ST, CAIRNS 4870 Email: admin@osegroup.com.au		CLIENT PYSTER PTY LTD	PROJECT 51 JOHN STREET, THURSDAY ISLAND - LOT 2 RP 718647 DETENTION BASIN	TITLE COVER SHEET, LOCALITY PLAN AND DRAWING INDEX	
REV	DATE	REVISION NOTES			DRAWN DJM	DRAWING CHECK PDR	APPROVED
					DESIGNED DJM	DESIGN REVIEW PDR	DATE -
						SCALE (Scale as shown)	DRAWING No 22080-C000
							REV A

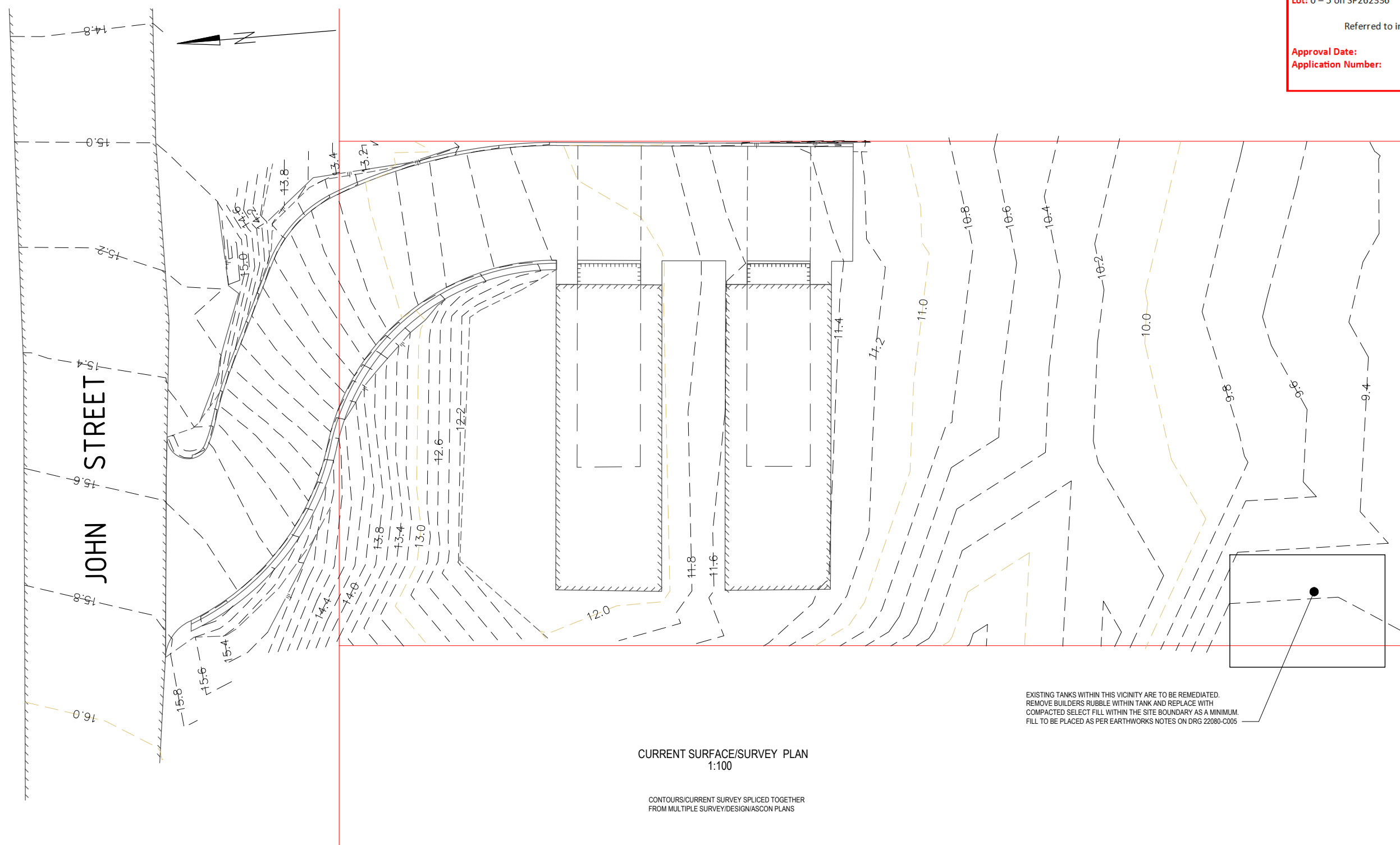
Development Application: Development Permit for Operational Works (Stormwater and drainage works, internal access driveway and erosion and sediment control)

Lot: 0 – 5 on SP262336

Referred to in Council's Decision Notice

Approval Date: 16 August 2022

Application Number: IDAS 22/04



EXISTING TANKS WITHIN THIS VICINITY ARE TO BE REMEDIATED. REMOVE BUILDERS RUBBLE WITHIN TANK AND REPLACE WITH COMPACTED SELECT FILL WITHIN THE SITE BOUNDARY AS A MINIMUM. FILL TO BE PLACED AS PER EARTHWORKS NOTES ON DRG 22080-C005

CURRENT SURFACE/SURVEY PLAN
1:100

CONTOURS/CURRENT SURVEY SPLICED TOGETHER
FROM MULTIPLE SURVEY/DESIGN/ASCON PLANS

A 21.06.22 FOR APPROVAL	SCALE 1:100	Orig. Sheet A1	<p>Address: 35 ABBOTT ST, CAIRNS 4870 Email: admin@osegroup.com.au</p>	CLIENT PYSTER PTY LTD	PROJECT 51 JOHN STREET, THURSDAY ISLAND - LOT 2 RP 718647 DETENTION BASIN	TITLE CURRENT SURFACE PLAN						
	DO NOT SCALE DRAWINGS	DO NOT SCALE DRAWINGS				SCALE (Scale as shown)	DRAWING No 22080-C001	REV A				
REV DATE REVISION NOTES					<table border="1"> <tr> <td>DRAWN DJM</td> <td>DRAWING CHECK PDR</td> <td>APPROVED</td> </tr> <tr> <td>DESIGNED DJM</td> <td>DESIGN REVIEW PDR</td> <td>DATE -</td> </tr> </table>	DRAWN DJM	DRAWING CHECK PDR	APPROVED	DESIGNED DJM	DESIGN REVIEW PDR	DATE -	
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TORRES SHIRE COUNCIL

**DIGITALLY STAMPED
APPROVED PLAN**

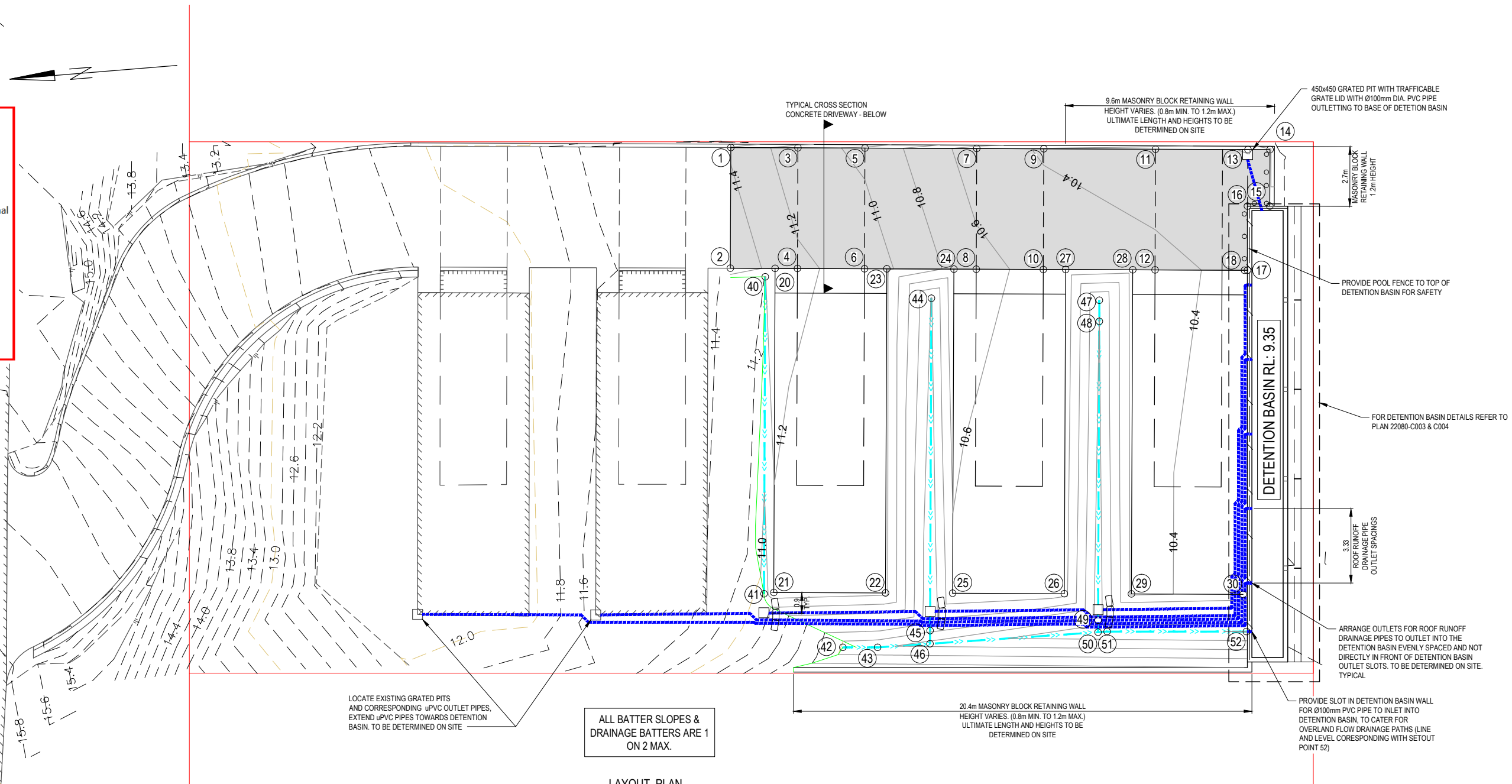
Development Application: Development Permit for Operational Works (Stormwater and drainage works, internal access driveway and erosion and sediment control)

Lot: 0 - 5 on SP262336

Referred to in Council's Decision Notice

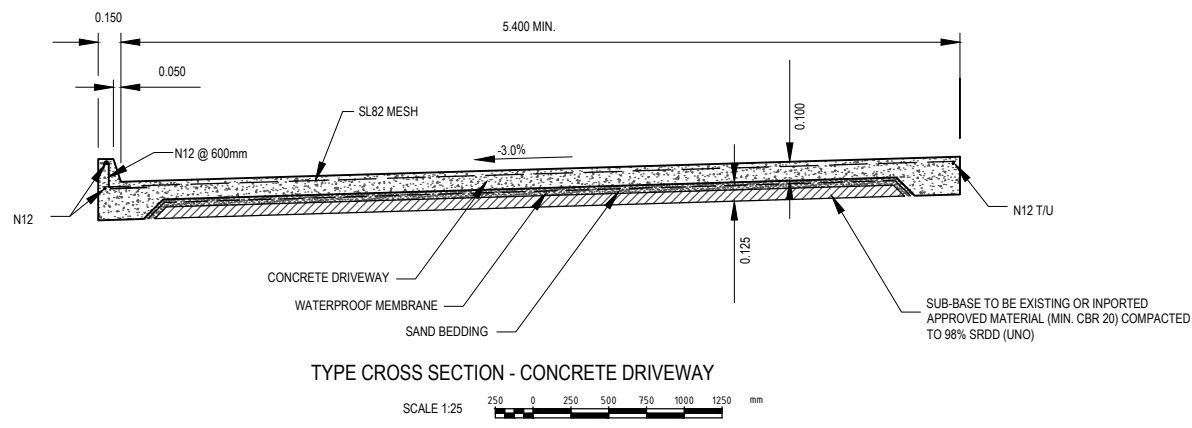
Approval Date: 16 August 2022
Application Number: IDAS 22/04

JOHN STREET



LAYOUT PLAN 1:100

DRIVEWAY SETOUT				BUILDING PAD SETOUT				DRAINAGE FLOW PATH SETOUT			
PT	EASTING	NORTHING	LEVEL	PT	EASTING	NORTHING	LEVEL	PT	EASTING	NORTHING	INVERT LEVEL
1	878.775	4977.076	11.378	20	873.346	4975.154	11.280	40	872.974	4975.598	11.194
2	873.376	4977.156	11.540	21	858.848	4975.368	11.130	41	858.795	4975.807	10.908
3	878.731	4974.075	11.078	22	858.774	4970.369	11.050	42	856.362	4972.310	9.989
4	873.331	4974.154	11.240	23	873.272	4970.155	11.080	43	856.345	4970.751	9.830
5	878.687	4971.075	10.958	24	873.228	4967.155	10.700	44	871.933	4968.175	10.189
6	873.287	4971.155	11.120	25	858.730	4967.369	10.550	45	857.067	4968.395	10.031
7	878.613	4966.075	10.498	26	858.656	4962.369	10.470	46	856.482	4968.403	9.738
8	873.213	4966.155	10.660	27	873.154	4962.155	10.500	47	871.763	4960.661	9.812
9	878.569	4963.076	10.378	28	873.110	4959.156	10.480	48	870.819	4960.675	9.797
10	873.169	4963.155	10.540	29	858.612	4959.370	10.430	49	857.453	4960.872	9.710
11	878.495	4958.076	10.292	30	858.538	4954.370	10.350	50	856.917	4960.880	9.442
12	873.095	4958.156	10.454					51	856.940	4960.474	9.426
13	878.434	4953.942	10.188					52	856.873	4954.246	9.395
14	878.419	4952.954	10.355								
15	875.895	4952.991	10.350								
16	875.906	4953.991	10.350								
17	873.034	4954.022	10.350								
18	873.036	4954.156	10.350								



LEGEND

- EXISTING BUILDING OUTLINE
- EXISTING BUILDING LOWER LEVEL GARAGE OUTLINE
- EXISTING CHANGE IN GRADE
- EXISTING EDGE OF ROAD PAVEMENT (JOHN STREET)
- PROPOSED OVERLAND FLOW DRAINAGE PATH - VEE DRAIN INVERT (SIDESLOPE BATTERS 1 ON 2)
- PROPOSED BUILDING PAD
- PROPOSED BUILDING LOWER LEVEL GARAGE OUTLINE
- PROPOSED TRAFFIC BOLLARD
- 450x450 GRATED STORMWATER PIT TO CATER FOR ROOFWATER RUNOFF
- PROPOSED ROOF RUNOFF DRAINAGE PIPES Ø100 uPVC (UNDERGROUND)
- PROPOSED DRIVEWAY
- PROPOSED DRIVEWAY CHANGE IN GRADE

A 21.06.22 FOR APPROVAL
REV DATE REVISION NOTES

SCALE 1:100
DO NOT SCALE DRAWINGS
Scales Before Reduction

Orig. Sheet A1

DESIGNER

OSE GROUP

Address: 35 ABBOTT ST, CAIRNS 4870
Email: admin@osegroup.com.au

CLIENT PYSTER PTY LTD

PROJECT 51 JOHN STREET, THURSDAY ISLAND - LOT 2 RP 718647
DETENTION BASIN

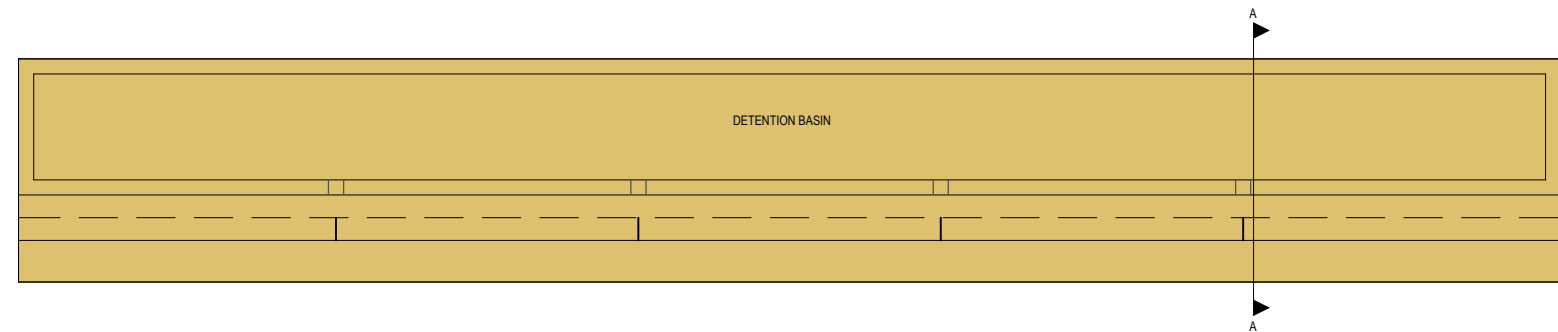
TITLE SITEWORKS PLAN AND SETOUT

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DESIGNED DJM

DRAWING CHECK PDR
DESIGN REVIEW PDR

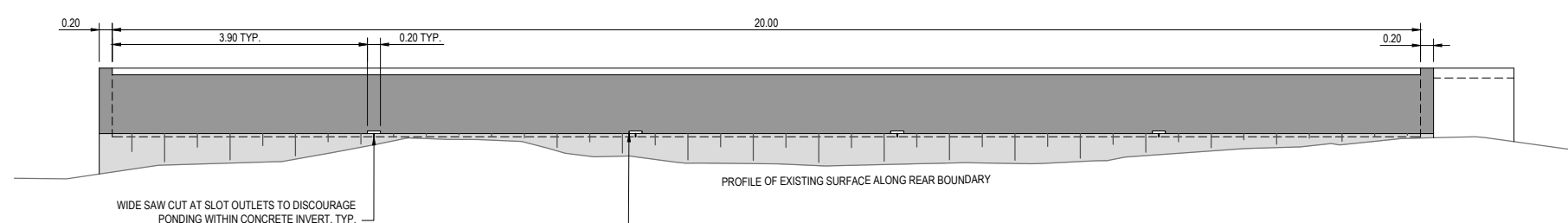
APPROVED
DATE -

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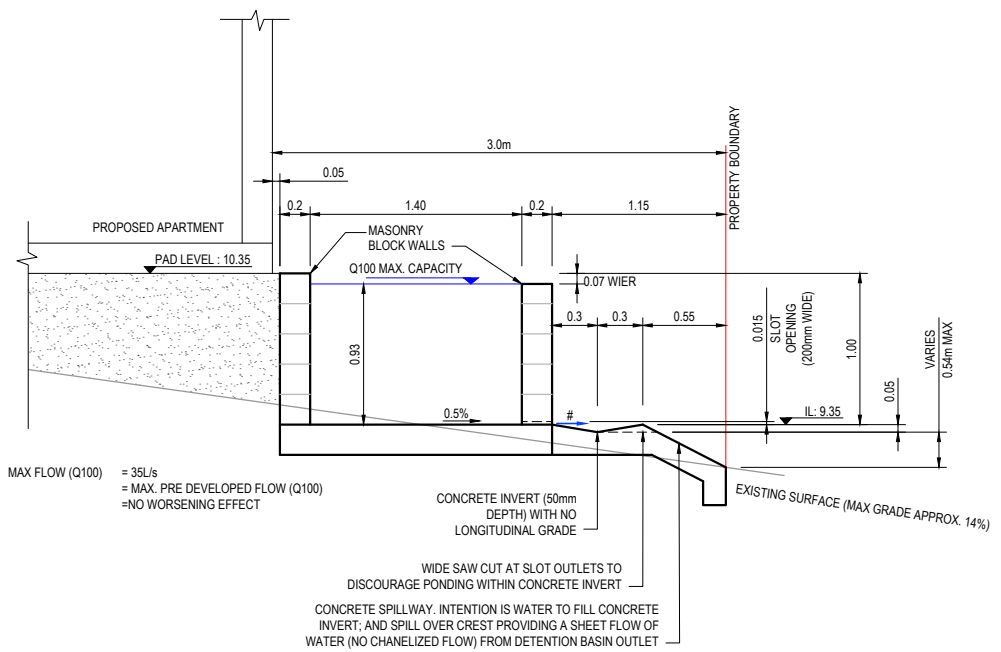


PROFILE VIEW BELOW

SITE DETENTION BASIN - PLAN
1:50



PROFILE - DETENTION BASIN
OUTLET SIDE
1:50



SECTION A-A
1:25



TORRES SHIRE COUNCIL

**DIGITALLY STAMPED
APPROVED PLAN**

Development Application: Development Permit for Operational Works (Stormwater and drainage works, internal access driveway and erosion and sediment control)

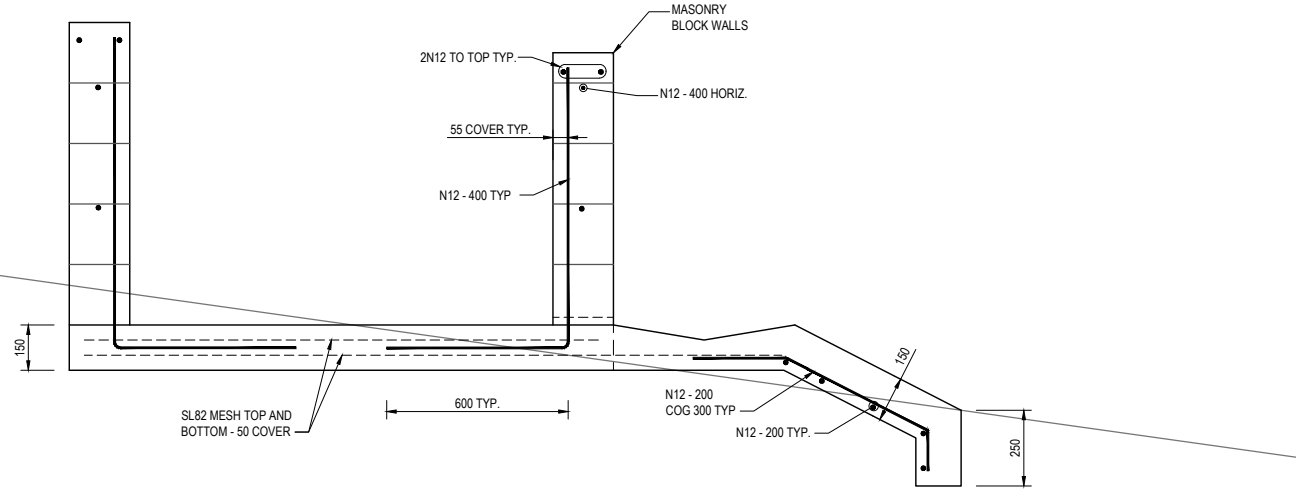
Lot: 0 – 5 on SP262336

Referred to in Council's Decision Notice

Approval Date: 16 August 2022
Application Number: IDAS 22/04

FOR CONCRETE AND MASONRY
BLOCK NOTES AND DETAILS
REFER TO PLAN 22080-C004

A 21.06.22 FOR APPROVAL REV DATE REVISION NOTES	SCALE 1:50 DO NOT SCALE DRAWINGS Scales Before Reduction 	DESIGNER Address: 35 ABBOTT ST, CAIRNS 4870 Email: admin@osegroup.com.au	CLIENT PYSYTER PTY LTD	PROJECT 51 JOHN STREET, THURSDAY ISLAND - LOT 2 RP 718647 DETENTION BASIN	TITLE DETENTION BASIN PLAN, ARRANGEMENT AND DETAILS							
				<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 33%;">DRAWN DJM</td> <td style="width: 33%;">DRAWING CHECK PDR</td> <td style="width: 33%;">APPROVED</td> </tr> <tr> <td>DESIGNED DJM</td> <td>DESIGN REVIEW PDR</td> <td>DATE -</td> </tr> </table>	DRAWN DJM	DRAWING CHECK PDR	APPROVED	DESIGNED DJM	DESIGN REVIEW PDR	DATE -	SCALE (Scale as shown) DRAWING No 22080-C003	REV A
DRAWN DJM	DRAWING CHECK PDR	APPROVED										
DESIGNED DJM	DESIGN REVIEW PDR	DATE -										



**DETAIL - DETENTION BASIN
NOT TO SCALE**

REFER TO 22080-CIV-001 FOR FURTHER DIMENSIONS AND SETOUT

- MASONRY BLOCK WALL TO BE 200 SERIES, ALL CORES GROUTED
- 50mm COVER TO REINFORCING UNLESS NOTED OTHERWISE
- FOOTING FOUNDATION TO HAVE MIN 100 kPa ALLOWABLE BEARING

CONCRETE

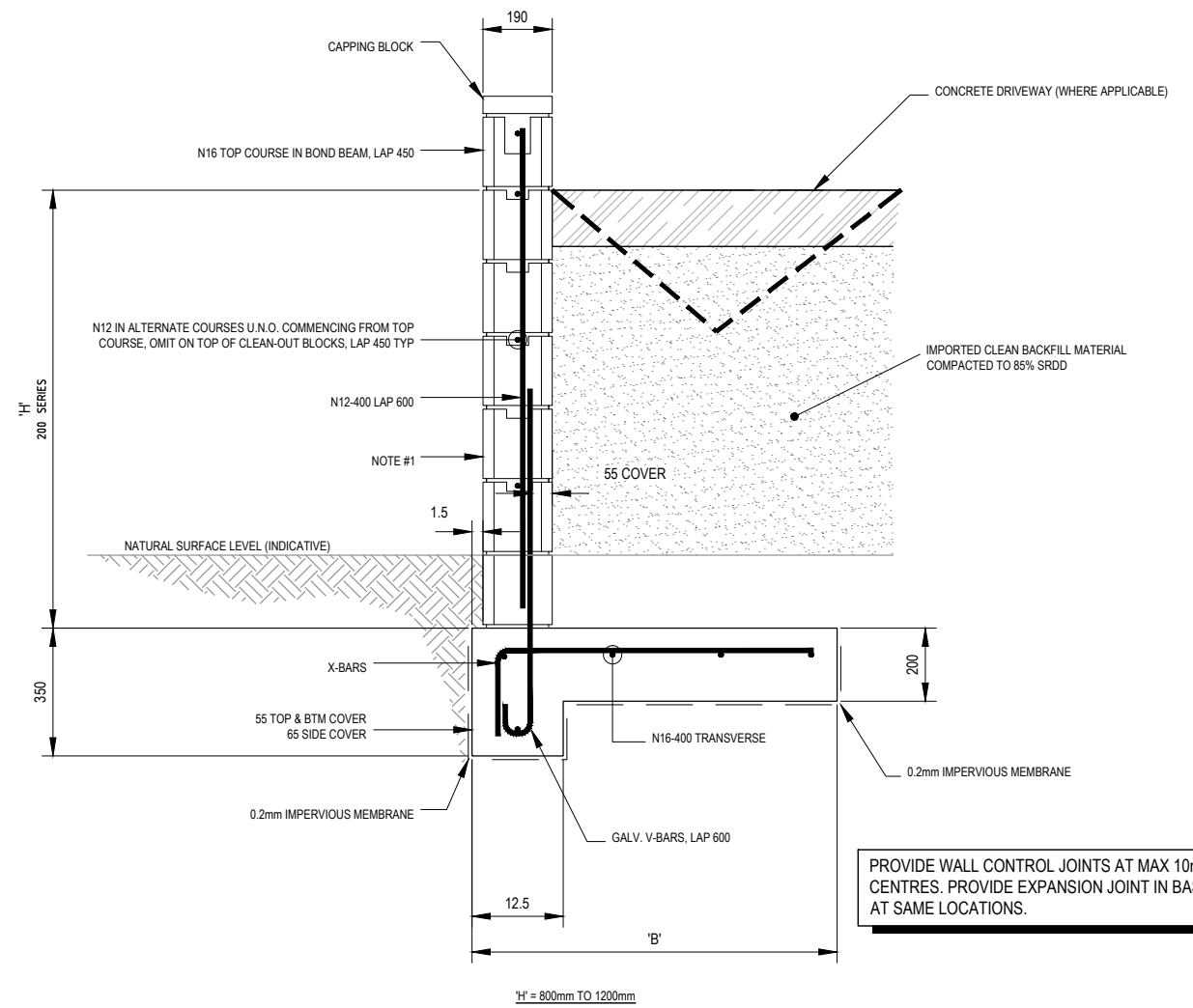
- ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH AS 3600.
- CONCRETE SPECIFICATION SHALL BE:

ELEMENT	GRADE	SLUMP	MAX AGGREGATE
SLABS	32	80 +/- 15	20
- COVER TO REINFORCEMENT SHALL BE:

SLABS	COVER
SLABS - 50mm TOP	50mm
- REINFORCEMENT SHALL BE SUPPORTED ON APPROVED PLASTIC OR PLASTIC TIPPED WIRE CHAIRS AS FOLLOWS: - BARS UP TO N12 AND FABRIC - 800 mm CENTRES
- WELDING OF REINFORCEMENT IS NOT PERMITTED.
- CONSTRUCTION JOINTS SHALL BE SCABBLED, CLEANED AND COATED WITH A CEMENT/WATER SLURRY IMMEDIATELY PRIOR TO PLACING CONCRETE.
- CONCRETE SHALL BE COMPACTED USING MECHANICAL VIBRATORS.
- CONCRETE SHALL BE CURED FOR A MINIMUM OF 7 DAYS BY A METHOD APPROVED BY THE ENGINEER.
- NO HOLES OR CHASES OTHER THAN THOSE SHOWN ON THE STRUCTURAL DRAWINGS SHALL BE MADE IN CONCRETE MEMBERS UNLESS APPROVED BY THE ENGINEER.
- FORMWORK SHALL COMPLY WITH AS 3610 FORMWORK CODE AND ALL RELEVANT CONSTRUCTION SAFETY LEGISLATION. MINIMUM STRIPPING TIMES (UNLESS OTHERWISE APPROVED BY THE ENGINEER) SHALL BE IN ACCORDANCE WITH AS 3610 FORMWORK CODE.
- CONTROL JOINTS SHALL BE CONSTRUCTED AS SPECIFIED. SAW CUTTING SHALL BE CARRIED OUT WITHIN 8 HOURS OF CONCRETE HARDENING.
- CONCRETE TEST CYLINDERS SHALL BE PREPARED AND TESTED BY A N.A.T.A REGISTERED LABORATORY.

BLOCKWORK

- ALL BLOCKWORK SHALL BE IN ACCORDANCE WITH AS3700.
- CONCRETE BLOCKS SHALL BE IN ACCORDANCE WITH AS2733.
- REINFORCEMENT AND CONCRETE CORE FILLING SHALL COMPLY WITH THE NOTES ON 'CONCRETE & REINFORCEMENT'.
- MORTAR SHALL BE CLASSIFICATION M3 OR M4 IN ACCORDANCE WITH AS3700 2.2.

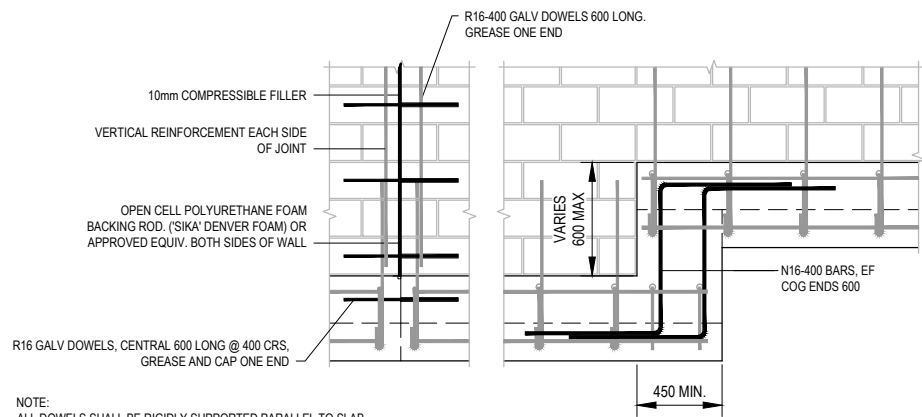


PROVIDE WALL CONTROL JOINTS AT MAX 10m CENTRES. PROVIDE EXPANSION JOINT IN BASE SLAB AT SAME LOCATIONS.

TOTAL HEIGHT 'H' (mm)	BLOCKWORK HEIGHT		REINFORCEMENT			BASE DIMENSIONS 'B'	
	200 SERIES	300 SERIES	X-BARS	V-BARS	K-BARS	LEVEL	1 on 4 SLOPE
800	800	-	N12-400	N12-400	-	800	700
1000	1000	-	N12-400	N12-400	-	900	800
1200	1200	-	N12-400	N12-400	-	1000	1000

NOTES:

- 'H' MASONRY BLOCKS (SEE DETAIL FOR WIDTH), FILL ALL CORES WITH 20MPa CONCRETE. PAINT SURFACE OF WALL INTERFACING SOIL WITH 2 COATS OF AN APPROVED BITUMASTIC SEALANT IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATION OR SIMILAR APPROVED WATER-PROOF MEMBRANE.



EXPANSION JOINT DETAIL
SCALE: NTS

FOOTING STEP DETAIL
SCALE: NTS

TORRES SHIRE COUNCIL

**DIGITALLY STAMPED
APPROVED PLAN**

Development Application: Development Permit for Operational Works (Stormwater and drainage works, internal access driveway and erosion and sediment control)

Lot: 0 - 5 on SP262336

Referred to in Council's Decision Notice

Approval Date: 16 August 2022
Application Number: IDAS 22/04

A 21.06.22 FOR APPROVAL	SCALE NTS	Orig. Sheet A1	DESIGNER		CLIENT PYSTER PTY LTD	PROJECT 51 JOHN STREET, THURSDAY ISLAND - LOT 2 RP 718647 DETENTION BASIN	TITLE CONCRETE AND MASONRY BLOCK RETAINING WALL STRUCTURAL DETAILS	
	DO NOT SCALE DRAWINGS	DO NOT SCALE DRAWINGS					SCALE (Scale as shown)	DRAWING No 22080-C004
REV DATE REVISION NOTES			Address: 35 ABBOTT ST, CAIRNS 4870 Email: admin@osegroup.com.au		DRAWN DJM DESIGNED DJM	DRAWING CHECK PDR DESIGN REVIEW PDR	APPROVED DATE -	SCALE (Scale as shown) DRAWING No 22080-C004 REV A

SITE PREPARATIONS, EARTHWORKS AND FOUNDATION NOTES

- THE DESIGN OF THE STRUCTURE HAS BEEN BASED ON THE FOUNDATION HAVING A MINIMUM BEARING CAPACITY OF 100 KPA.
- BEFORE ANY CONCRETE IS PLACED, THE SAFE BEARING CAPACITY OF THE GROUND SHALL BE VERIFIED WITH A GEOTECHNICAL INVESTIGATION. IF THE BEARING PRESSURE IS ASSESSED AS BEING LESS THAN THE SPECIFIED, THE DESIGN ENGINEER IS TO BE NOTIFIED IN WRITING.
- DURING CONSTRUCTION THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING EXCAVATIONS IN STABLE CONDITIONS. PROTECT SURROUNDING PROPERTY AND SERVICES FROM ADVERSE EFFECTS OF GROUND WORKS. PROVIDE TEMPORARY WORKS AS REQUIRED. PROVIDE SHORING CERTIFIED BY SUITABLY QUALIFIED STRUCTURAL ENGINEER TO ALL DEEP EXCAVATIONS WHERE REQUIRED.
- DO NOT UNDERMINE EXISTING FOOTINGS.
- KEEP EXCAVATIONS FREE OF WATER. PROVIDE ADEQUATE DRAINAGE TO ENSURE FOUNDATION IS NOT AFFECTED BY MOISTURE. PREVENT FOUNDATION DRYING OUT DUE TO EXPOSURE. PLACE BLINDING, FOOTINGS, PILES AND BACKFILL AS SOON AS PRACTICABLE AFTER EXCAVATION.
- EARTHWORKS SHALL BE IN ACCORDANCE WITH AS3798 "GUIDELINES ON EARTHWORKS FOR COMMERCIAL AND RESIDENTIAL DEVELOPMENTS" AND AS FOLLOWS.
- STRIP BUILDING PLATFORM OF ALL TOPSOIL AND VEGETATION TO A MINIMUM DEPTH OF 150MM AND STOCKPILE. REMOVE ALL DELETERIOUS MATTER.
- THE CONTRACTOR SHALL CHECK ALL EXCAVATIONS FOR ORGANIC MATERIAL AND RUBBISH. IF ANY OF THIS MATERIAL IS FOUND, IT SHALL BE REMOVED FROM THE WORKS TO A PLACE DESIGNATED BY THE SUPERINTENDENT.
- UNLESS NOTED OTHERWISE IN SPECIFICATION, FOOTING AND SLABS SHALL BE FOUNDED ON COMPACTED MATERIAL OR CONTROLLED FILL COMPACTED IN ACCORDANCE WITH THE FOLLOWING AS APPROPRIATE FOR MATERIAL TYPE:
 - SANDS WITH 5% FINES OR LESS. FIELD DENSITY INDEX NOT LESS THAN 65% OF LABORATORY REFERENCE DENSITY DETERMINED IN ACCORDANCE WITH AS1289.5.6.1.
 - SILTS AND SANDS WITH MORE THAN 5% FINES, DRY DENSITY RATIO OF NOT LESS THAN 98% OF LABORATORY REFERENCE DENSITY DETERMINED IN ACCORDANCE WITH AS 1289.5.1.1.
 - CLAYS, DRY DENSITY RATIO OF NOT LESS THAN 95% OF LABORATORY REFERENCE DENSITY DETERMINED IN ACCORDANCE WITH AS 1289.5.1.1 OR 90% IN ACCORDANCE WITH AS 1289.5.2.1.1. CLAY FILL SHOULD BE MOIST TO ALLOW COMPACTION AND REDUCE SUBSEQUENT MOVEMENT. REACTIVE CLAY FILL SHOULD BE AVOIDED.
- EXPOSURE OF EXCAVATED FOOTINGS SHALL BE MINIMISED TO PREVENT LOCALISED MOISTURE CHANGES DURING THE CONSTRUCTION PERIOD.
- BACKFILL AND REQUIRED FILL UNDER SLABS AND FOOTINGS SHALL BE CONTROLLED FILL OF APPROVED NON-PLASTIC GRANULAR MATERIAL, MIN SOAKED CBR VALUE OF 15%, COMPACTED IN 200MM MAXIMUM THICK LAYERS TO 98% SRDD AND PLACED STRICTLY TO AS 3798.
- MATERIAL WON FROM THIS SITE TO BE INSPECTED BY THE GEOTECHNICAL ENGINEER FOR APPROVAL PRIOR TO USE AS FILL.
- TREE REMOVAL: WHERE A TREE IS REMOVED, EXCAVATE 200MM BELOW EXTENT OF ROOT BALL. COMPACT EXPOSED SURFACE TO 98% SRDD TO A DEPTH OF AT LEAST 250MM. PLACE FILL AS UNDER CLAUSE 9.
- A 50MM MINIMUM BLINDING LAYER OF SAND, COMPACTED TO 95% MAX DRY DENSITY SHALL BE APPLIED TO THE BASE OF ALL SLABS-ON-GROUND IMMEDIATELY AFTER VERIFICATION OF THE BEARING CAPACITY BY THE GEOTECHNICAL ENGINEER.
- DAMP PROOF MEMBRANE UNDER FOUNDATIONS TO BE 0.2MM THICK POLYETHYLENE FILM. LAP JOINTS 200MM. SEAL LAP PENETRATIONS AND ANY PUNCTURES WITH DOUBLE-SIDED BUTYL ADHESIVE TAPE.
- WHERE THE FOUNDING MATERIAL IS DEEPER THAN REQUIRED FOR THE FOOTING, THE EXCAVATION IS TO BE BACKFILLED WITH A WEAK MIX CONCRETE (N10) TO THE UNDERSIDE OF THE FOOTING.
- FOLLOWING CONSTRUCTION FOUNDATION MAINTENANCE TO BE IN ACCORDANCE WITH CSIRO BUILDING TECHNOLOGY FILE 18 "FOUNDATION MAINTENANCE AND FOOTING PERFORMANCE: A HOMEOWNER'S GUIDE".

CONCRETE MASONRY NOTE

- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS3700.
- REFER TO PUBLICATIONS "MA54 CONCRETE MASONRY WALLING- SINGLE-LEAF MASONRY DESIGN MANUAL", "MA45 "CONCRETE MASONRY HANDBOOK" AND "MA55 DESIGN AND CONSTRUCTION OF CONCRETE MASONRY BUILDINGS" BY CMAA FOR DETAILS ON WORKMANSHIP, FIXING TO GABLE ENDS, BASEMENT WALLS, TANKING, WATERPROOFING ETC. MINIMUM OF 20MM GROUT COVER TO ANY STEEL REINFORCEMENT MEMBER.
- CHASES OR HOLES SHALL NOT BE MADE WITHOUT THE WRITTEN APPROVAL OF THE ENGINEER. EMBEDDED ITEMS SHALL NOT BE PLACED INSIDE CORES CONTAINING REINFORCEMENT.
- ALL WALL INTERSECTIONS SHALL BE OF BONDED CONSTRUCTION FOR INTERNAL NON-LOADBEARING UNREINFORCED WALLS (MASONRY MESH, 500 LONG, AT 400 CRS VERT) OR TIED FOR INTERNAL LOAD-BEARING REINFORCED WALLS (L8 TIES AT 400 CRS VERT., BENT DOWN 100mm INTO GROUTED CORES).
- BUILD IN ALL FIXINGS FOR ARCHITECTURAL DETAILS NOT SPECIFICALLY SHOWN ON THE ENGINEER'S DRAWINGS.
- CHARACTERISTIC UNCONFINED COMPRESSIVE STRENGTH OF CONCRETE BLOCKS TO AS/NZS 4455.1-2008 AND DR04313 SHALL BE $f_{uc} = 15MPa$.
- REINFORCEMENT AND CONCRETE MASONRY BLOCK CORE FILLING SHALL COMPLY WITH THE NOTES ON "CONCRETE AND REINFORCEMENT". GROUT SHALL HAVE A CEMENT CONTENT OF NOT LESS THAN 300kg/m³.
- PROVIDE CLEANOUT BLOCKS AT THE BASE OF EVERY CORE TO BE FILLED AND HAVE ALL MORTAR DROPPINGS REMOVED PRIOR TO COMMENCEMENT OF CORE FILLING. ALTERNATIVELY, THE BUILDER SHALL OPEN SUCH CORES FOR CLEANING BY AN APPROVED METHOD.
- ALL CORES TO BE CONCRETE FILLED SHALL BE CLEANED OUT BY HOSEING PRIOR TO FINAL SETTING OF MORTAR AT ALL LIFTS, OR BY RODDING PRIOR TO CONCRETE FILLING.
- MORTAR USED IN BLOCKWORK THAT IS TO BE GROUTED OR REINFORCED SHALL BE OF CLASSIFICATION M3 TO AS 3700, FOR GENERAL PURPOSE APPLICATION WITH MODERATE EXPOSURE; REFER TO CMAA'S RECOMMENDATIONS IN "CM01 CONCRETE MASONRY - HAND BOOK"

CLASS	CEMENT	LIME	SAND	METHYL CELLULOSE (DYNEX) WATER THICKENER ADDED
M3 (CHARACTERISTIC COMPRESSIVE STRENGTH 20 MPa)	1	1	6	OPTIONAL
	1	0	5	YES
	- CEMENT CONTENT NOT LESS THAN 300kg/m ³ - COARSE AGGREGATE SIZE MAX 10mm			

FOR HIGH DURABILITY APPLICATIONS WITH SEVERE EXPOSURE USE MORTAR TYPE M4 AND REFER TO CMAA'S RECOMMENDATIONS IN "CM01 CONCRETE MASONRY - HAND BOOK"

- BOND BEAM REINFORCING SHALL BE CONTINUOUS AT WALL INTERSECTIONS AND BARS ANCHORED AND LAPPED TO DEVELOP FULL TENSILE STRENGTH.
- A CANTILEVER RETAINING WALL SHALL BE PROPPED UNTIL CORE FILL HAS ATTAINED ITS DESIGN STRENGTH, IF BACKFILL IS TO BE PLACED BEHIND THE WALL.
- A PROPPED CANTILEVER RETAINING WALL SHALL BE PROPPED UNTIL THE SUPPORTING SLAB OVER HAS ATTAINED ITS DESIGN STRENGTH.
- MAXIMUM HEIGHT FOR GROUT FILLING OF HOLLOW CORES IS LIMITED TO 2400mm IN ONE POUR AND TO 3000mm IN TWO POURS ABOUT 30 MINUTES APART.

CONCRETE AND REINFORCEMENT NOTES

- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS3600.
- MINIMUM COVER TO ALL REINFORCEMENT AGAINST SURFACES SHALL BE AS FOLLOWING U.N.O.
 - FOOTINGS - 75mm BOTTOM, 65mm SIDES AND TOP
 - COVER SHALL BE 45mm WHERE SURFACE IS EXTERIOR ABOVE GROUND.
 - WITHIN CONCRETE MASONRY BLOCK - 10mm.
- SIZES OF CONCRETE ELEMENTS DO NOT INCLUDE THICKNESS OF APPLIED FINISHES. ALL CONCRETE THICKNESSES SHOWN ARE MINIMUM STRUCTURAL REQUIREMENTS; NO REDUCTION IN THICKNESS DUE TO FALLS OR TOPPING IS PERMITTED. REFER ARCHITECTS DRAWINGS FOR CONFIRMATION OF ALL SLAB FALLS AND STEPS.
- NO HOLES, CHASES OR EMBEDMENT OF PIPES OTHER THAN THOSE SHOWN ON THE STRUCTURAL DRAWINGS SHALL BE MADE IN CONCRETE MEMBERS WITHOUT PRIOR APPROVAL OF THE ENGINEER.
- CONSTRUCTION JOINTS SHALL HAVE CONCRETE FACES FULLY SCABBLED, CLEANED AND COATED WITH A CEMENT/WATER SLURRY IMMEDIATELY PRIOR TO PLACING ADJACENT CONCRETE; AND ARE TO BE USED ONLY WHERE SHOWN OR SPECIFICALLY APPROVED.
- CONTROL JOINTS SHALL BE CONSTRUCTED AS SPECIFIED.
- SAW CUTTING SHALL BE CARRIED OUT WITHIN 6 HOURS OF CONCRETE HARDENING.
- STEEL REINFORCEMENT IS TO COMPLY WITH AS 3600 AND AS/NZ 4671., AND IS REPRESENTED DIAGRAMATICALLY, FSY = 500MPa.
- U.N.O., SPLICING OF REINFORCEMENT IS TO BE A MINIMUM OF:

N12	450mm
N16	600mm
N20	800mm

 MESH TWO CROSS WIRES PLUS 25mm
 HORIZONTAL BARS WITH MORE THAN 300mm CONCRETE UNDER THEM SHALL HAVE LAPS 1.25 TIMES THESE LENGTHS.
 WELDING OR SITE BENDING OF REINFORCEMENT IS NOT PERMITTED WITHOUT APPROVAL OF THE ENGINEER.
- ALL REINFORCEMENT SHALL BE SUPPORTED IN ITS CORRECT POSITION DURING CONCRETING, BAR CHAIRS AT 800mm MAX. CENTRES BOTH DIRECTIONS. SUPPORTS OVER MEMBRANES ARE TO BE PLACED SO AS TO PREVENT PUNCTURING OF THE MEMBRANE.
- FORMWORK SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH AS3610 - FORMWORK FOR CONCRETE AND ALL RELEVANT CONSTRUCTION SAFETY LEGISLATION. U.N.O. FINISHES SHALL BE CLASS 2. MINIMUM FORMWORK STRIPPING TIMES FOR IN-SITU CONCRETE SHALL BE IN ACCORDANCE WITH SECTION 5.4.3, TABLE 5.4.1 OF AS 3610.
- CONCRETE SHALL HAVE THE FOLLOWING PROPERTIES.
CONCRETE SPECIFICATION, U.N.O. ON DRAWINGS.

ELEMENT	CLASS & GRADE	SLUMP	MAX. AGG. SIZE
BASE SLAB OF RETAINING WALL	N32	80mm ± 15mm	20mm
FILLING 200 & 300 CM	N20	220mm ± 30mm	10mm

METHOD OF PLACEMENT BY PUMP.

PROJECT ASSESSMENT IS NOT REQUIRED.

- PROVIDE A 10mm x 10mm CHAMFER TO EXPOSED EDGES ON CONCRETE UNO.
- CURE CONCRETE IN ACCORDANCE WITH AS3600 FOR 7 DAYS AND PRIOR TO THE REMOVAL OF FORMWORK.

TORRES SHIRE COUNCIL

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APPROVED PLAN

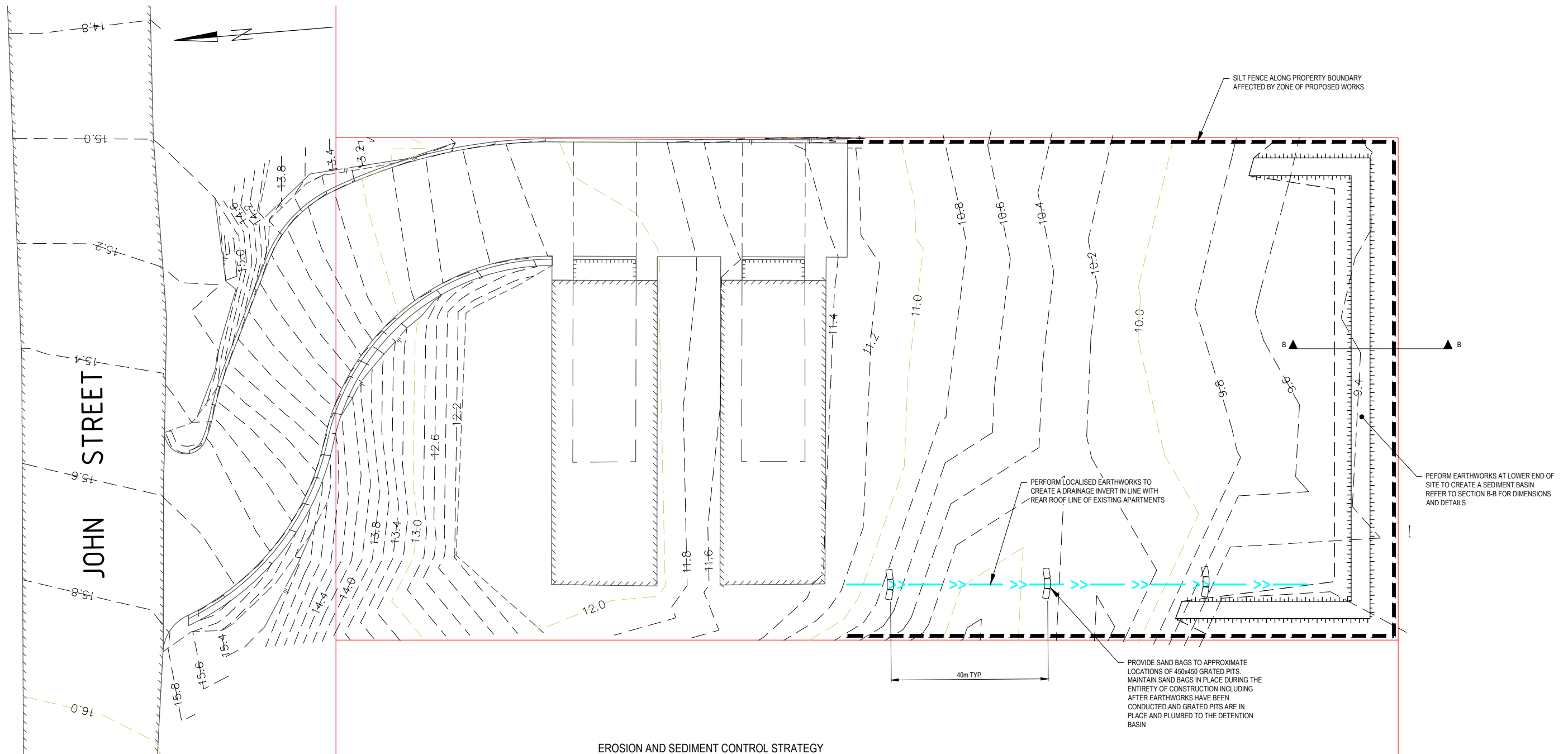
Development Application: Development Permit for Operational Works (Stormwater and drainage works, internal access drive-way and erosion and sediment control)

Lot: 0 – 5 on SP262336

Referred to in Council's Decision Notice

Approval Date: 16 August 2022
Application Number: IDAS 22/04

A 21.06.22 FOR APPROVAL	<table border="1"> <tr> <td>SCALE NTS</td> <td>Orig. Sheet A1</td> </tr> <tr> <td colspan="2">DO NOT SCALE DRAWINGS</td> </tr> <tr> <td colspan="2">Scales Before Reduction</td> </tr> <tr> <td colspan="2"></td> </tr> </table>	SCALE NTS	Orig. Sheet A1	DO NOT SCALE DRAWINGS		Scales Before Reduction				DESIGNER Address: 35 ABBOTT ST, CAIRNS 4870 Email: admin@osegroup.com.au	CLIENT PYSTER PTY LTD	PROJECT 51 JOHN STREET, THURSDAY ISLAND - LOT 2 RP 718647 DETENTION BASIN	TITLE MASONRY BLOCK RETAINING WALL NOTES
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EROSION AND SEDIMENT CONTROL STRATEGY
1:100

EROSION SEDIMENT CONTROL STRATEGY AND ENVIRONMENTAL PROTECTION

1. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROTECT AND PRESERVE THE NATURAL ENVIRONMENT AND SHALL AVOID ENVIRONMENTAL POLLUTION IN ACCORDANCE WITH THE ENVIRONMENTAL PROTECTION ACT.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INCORPORATION OF APPROPRIATE CONTROL AND MANAGEMENT MEASURES CONFORMING TO THE REQUIREMENTS OF THE ACT AND THE RELEVANT AUTHORITIES.
3. THE EROSION AND SEDIMENT CONTROL STRATEGY, SHOWN OR NOTED ON THESE DRAWINGS, HAS BEEN PROVIDED AS A GUIDE.
4. THE CONTRACTOR SHALL PROVIDE AN EROSION SEDIMENT CONTROL PLAN (ESCP) FOR EACH PHASE OF HIS PROPOSED CONSTRUCTION PROGRAM AND WORK METHODS, AND IS WHOLLY RESPONSIBLE FOR THE IMPLEMENTATION, CONTROL AND MANAGEMENT OF SUCH PLAN.
5. THE CONTRACTOR SHALL INSTALL ALL DEVICES/MEASURES NECESSARY TO COMPLY WITH THE ENVIRONMENTAL PROTECTION ACT, AND COUNCIL REQUIREMENTS.
6. THE ESCP SHALL INCLUDE SUCH MEASURES AS SHOWN ON THE STRATEGIC PLAN.
7. "OSE GROUP" DO NOT ACCEPT RESPONSIBILITY FOR THE CONTRACTOR'S DESIGN & IMPLEMENTATION OF THEIR ESCP NOR THE CONSEQUENCES OF THEIR FAILURE TO APPLY ALL REASONABLE CONTROLS.
8. ALL STORMWATER INLETS, TRENCHES, ETC. SHALL BE CONSTRUCTED IN SUCH A WAY AS TO PREVENT THE ENTRY OF SEDIMENT INTO THE STRUCTURE. IF IT IS NECESSARY TO DISCHARGE INTO SUCH INLETS THEN SUITABLE SILT TRAPS SHALL BE CONSTRUCTED UPSTREAM OF THE INLETS SUCH THAT OVERFLOW FROM TRAPS ENTERS THE DRAINS AFTER THE SEDIMENT HAS DROPPED OUT.
9. ALL SEDIMENT CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL THE END OF THE MAINTENANCE PERIOD, UNLESS NOTED OTHERWISE. ALL SEDIMENT CONTROL DEVICES ARE TO BE FULLY MAINTAINED IN AN EFFECTIVE WORKING CONDITION DURING CONSTRUCTION AND THE MAINTENANCE PERIOD. THE CONTRACTOR SHALL ENSURE THAT ALL SEDIMENT CONTROL DEVICES ARE KEPT FREE OF SEDIMENT BUILD-UP.
10. SEDIMENT FENCES SHALL BE INSTALLED SUCH THAT THE BASE OF THE FENCE IS PLACED 150MM MINIMUM BELOW GROUND LEVEL, AND ANCHORED SECURELY IN SUCH POSITION.
11. DIVERT CLEAN WATER AROUND AREAS OF CONSTRUCTION.
12. THE CONTRACTOR SHALL CONSTRUCT TEMPORARY BERMS AT THE TOP OF ALL BATTERS TO DIRECT AND CONTROL RUNOFF TO A SINGLE LOCATION. THE DISCHARGE OVER THE BATTER SHALL BE THROUGH A STABILIZED CHUTE ADDRESSED IN THE CONTRACTORS PLAN, E.G. REINFORCED TURF, GEOTEXTILE, CONCRETE OR SIMILAR.

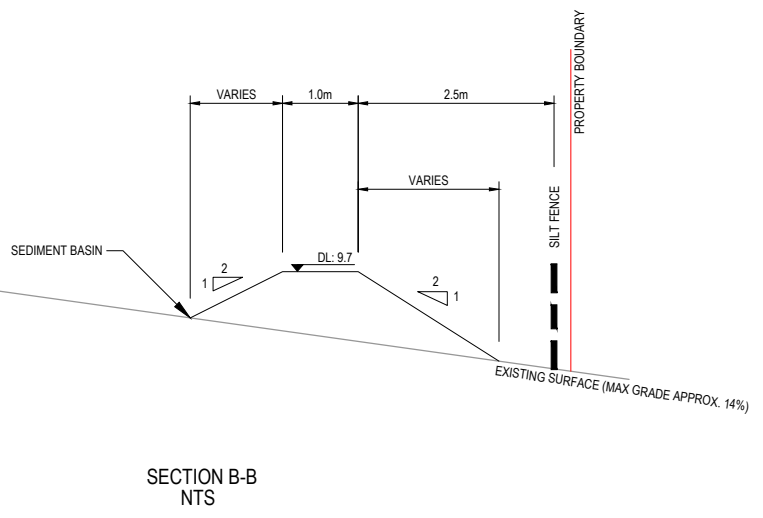
TORRES SHIRE COUNCIL
DIGITALLY STAMPED
APPROVED PLAN

Development Application: Development Permit for Operational Works (Stormwater and drainage works, internal access driveway and erosion and sediment control)

Lot: 0 - 5 on SP262336

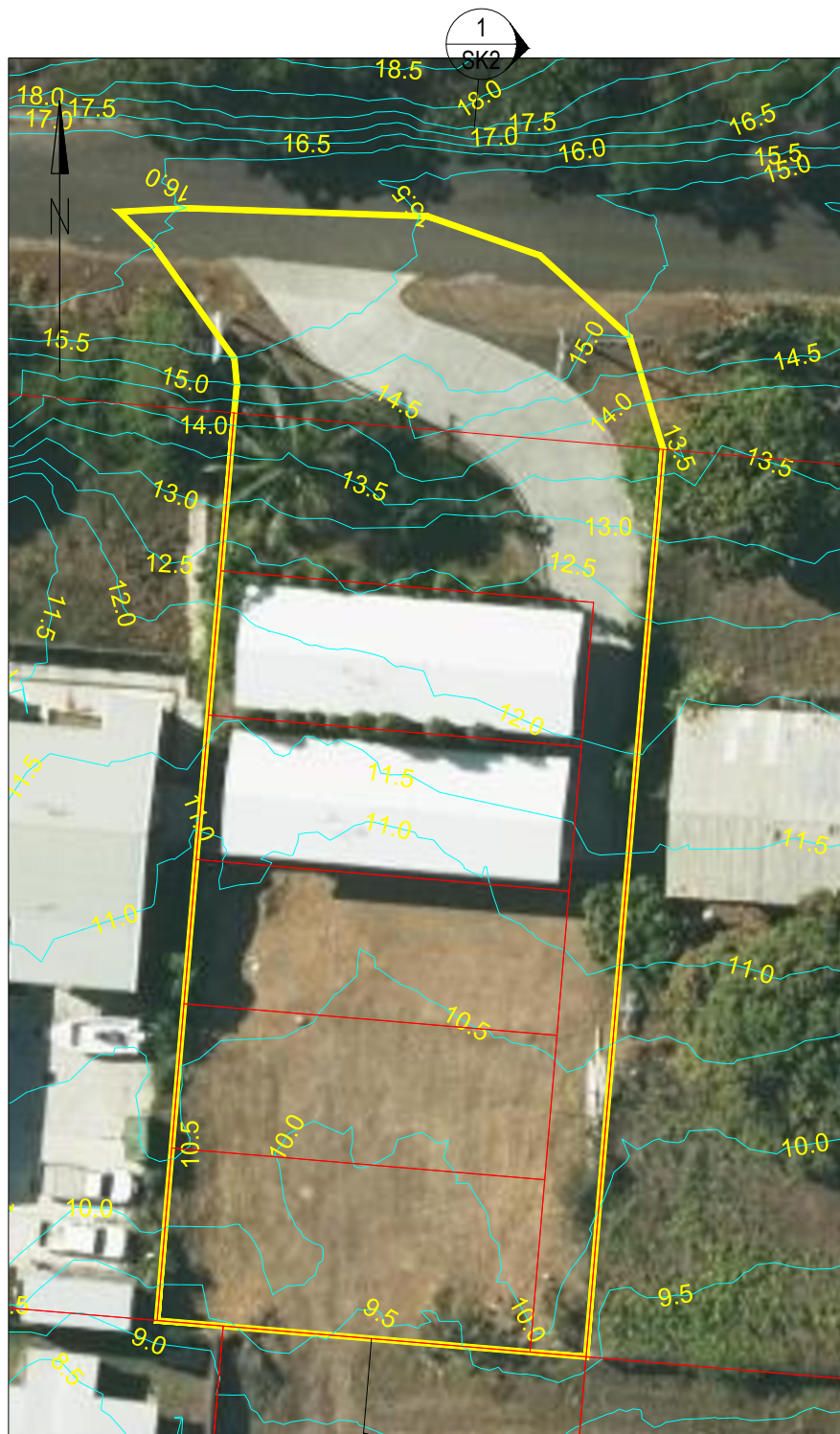
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SECTION B-B
NTS

A 21.06.22 FOR APPROVAL REV DATE REVISION NOTES	SCALE 1:100 DO NOT SCALE DRAWINGS Scales Before Reduction	DESIGNER OSE GROUP Address: 35 ABBOTT ST, CAIRNS 4870 Email: admin@osegroup.com.au	CLIENT PYSTER PTY LTD	PROJECT 51 JOHN STREET, THURSDAY ISLAND - LOT 2 RP 718647 DETENTION BASIN	TITLE EROSION AND SEDIMENT CONTROL STRATEGY	
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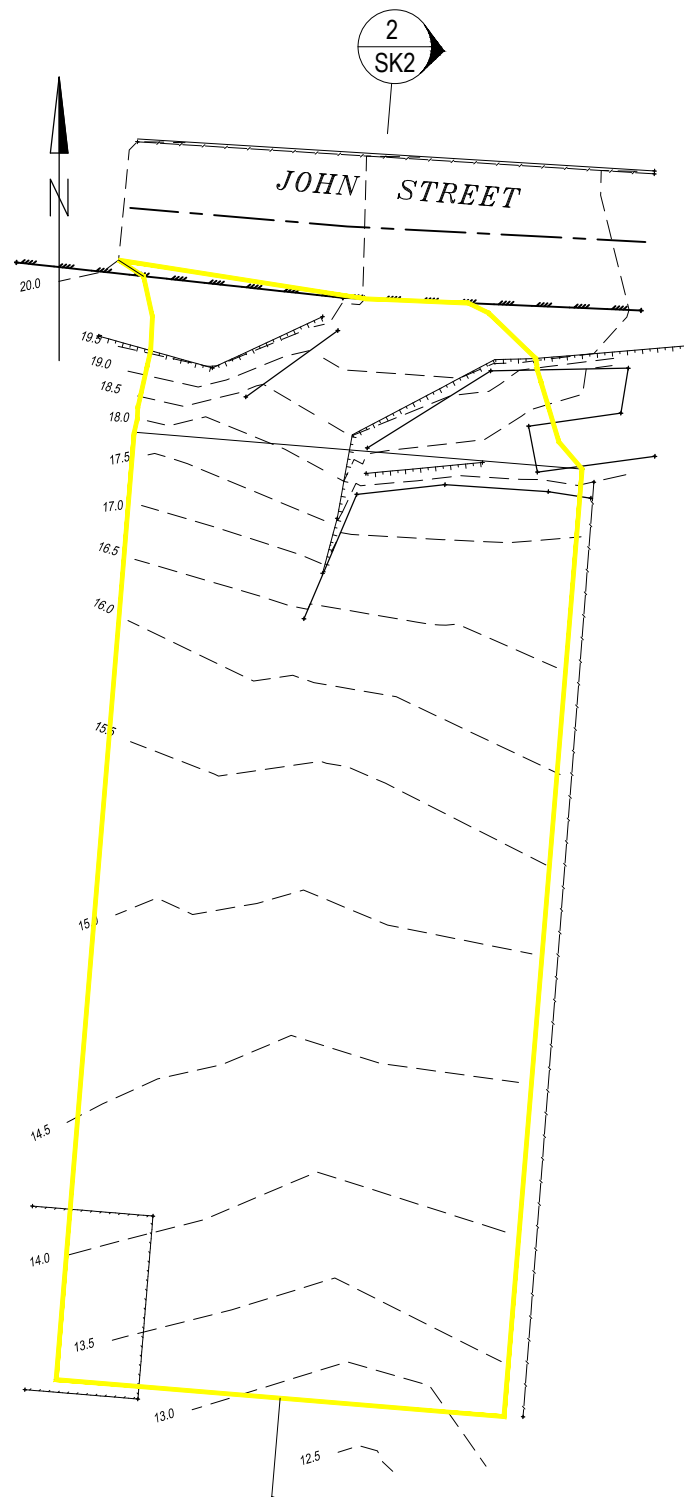
LIDAR CONTOURS - 2011
 AERIAL IMAGE - 2022
 HEIGHT DATUM: AHD
 SCALE: 1:200

CATCHMENT AREA: 1456.9m²

SLOPE: 7.7246%
 OVERLAND FLOW PATH LENGTH: 87.068m
 HORTONS (n): 0.04
 (MAJORITY OF FLOW PATH IS IN A SPARSE VEGETATION ZONE)
 VIA FRIENDS EQUATION
 Tc = 13 mins

FLOW (PRE DEVELOPMENT - BASED ON LIDAR)

1% (1 IN 100)	2% (1 IN 50 YEAR)	5% (1 IN 20 YEAR)	10% (1 IN 10 YEAR)	20% (1 IN 4.48 YEAR)	50% (1 IN 1.44 YEAR)	63.2% (1 YEAR)
38.3 L/s	35.7 L/s	32.2 L/s	29.4 L/s	26.5 L/s	21.9 L/s	21 L/s



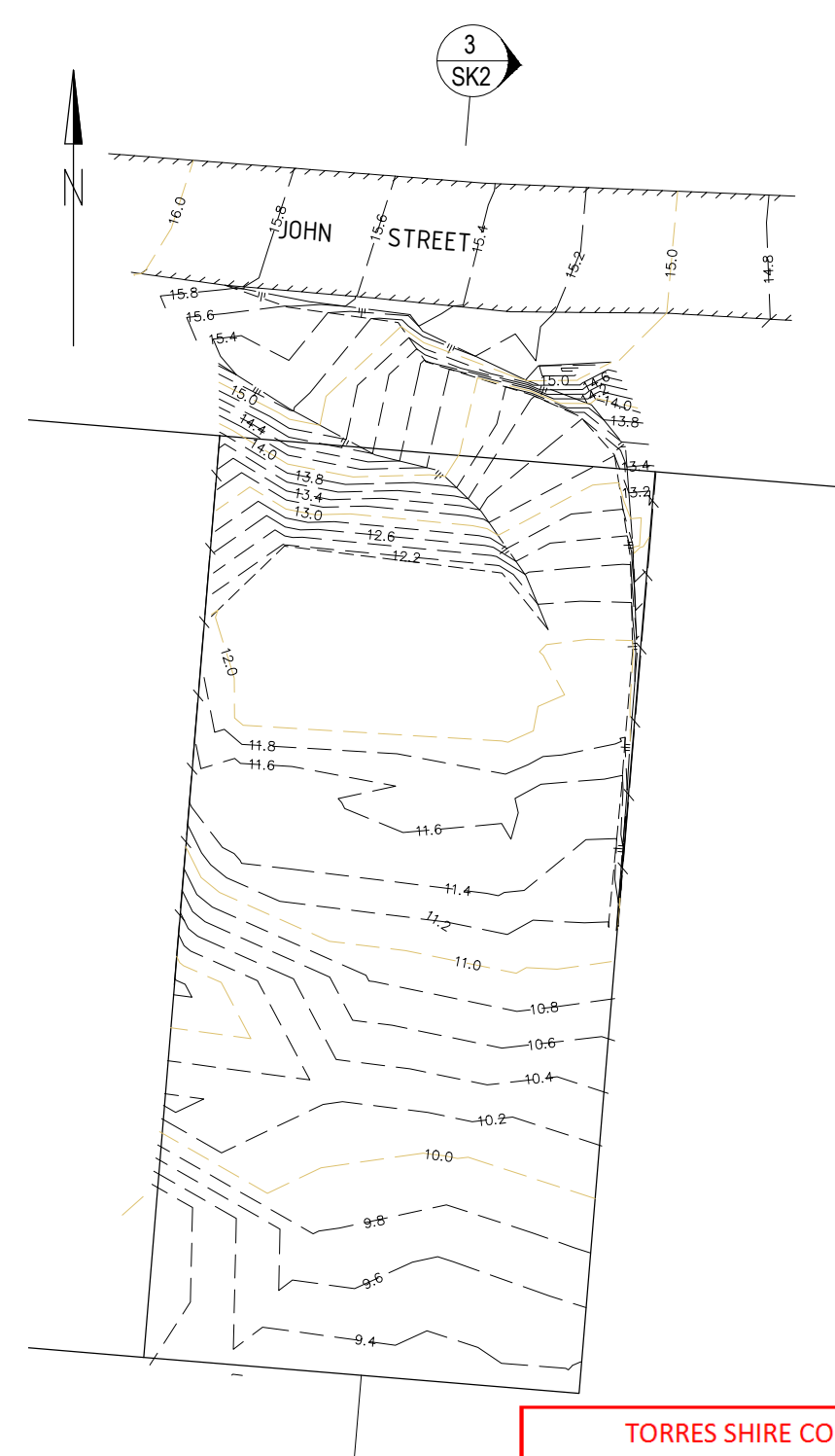
DETAILED SURVEY CONTOURS - NOVEMBER 2006
 SURVEY BY ROBERT BASS SURVEYORS
 ARBITRARY HEIGHT DATUM
 SCALE: 1:200

CATCHMENT AREA: 1369.9m²

SLOPE: 8.3723%
 OVERLAND FLOW PATH LENGTH: 83.374m
 HORTONS (n): 0.04
 (MAJORITY OF FLOW PATH IS IN A SPARSE VEGETATION ZONE)
 VIA FRIENDS EQUATION
 Tc = 12 mins

FLOW (PRE DEVELOPMENT - BASED ON 2006 DETAILED SURVEY)

1% (1 IN 100)	2% (1 IN 50 YEAR)	5% (1 IN 20 YEAR)	10% (1 IN 10 YEAR)	20% (1 IN 4.48 YEAR)	50% (1 IN 1.44 YEAR)	63.2% (1 YEAR)
35.0 L/s	32.6 L/s	29.4 L/s	26.9 L/s	24.2 L/s	20.0 L/s	18.6 L/s



FOR REFERENCE
 SITE SURVEY PICKUP - 2012
 SURVEYOR UNKNOWN
 HEIGHT DATUM: AHD
 SCALE: 1:200

IT IS ASSUMED SITE WORKS
 STARTED AFTER 2011, PROBABLE
 IN EARLY 2012

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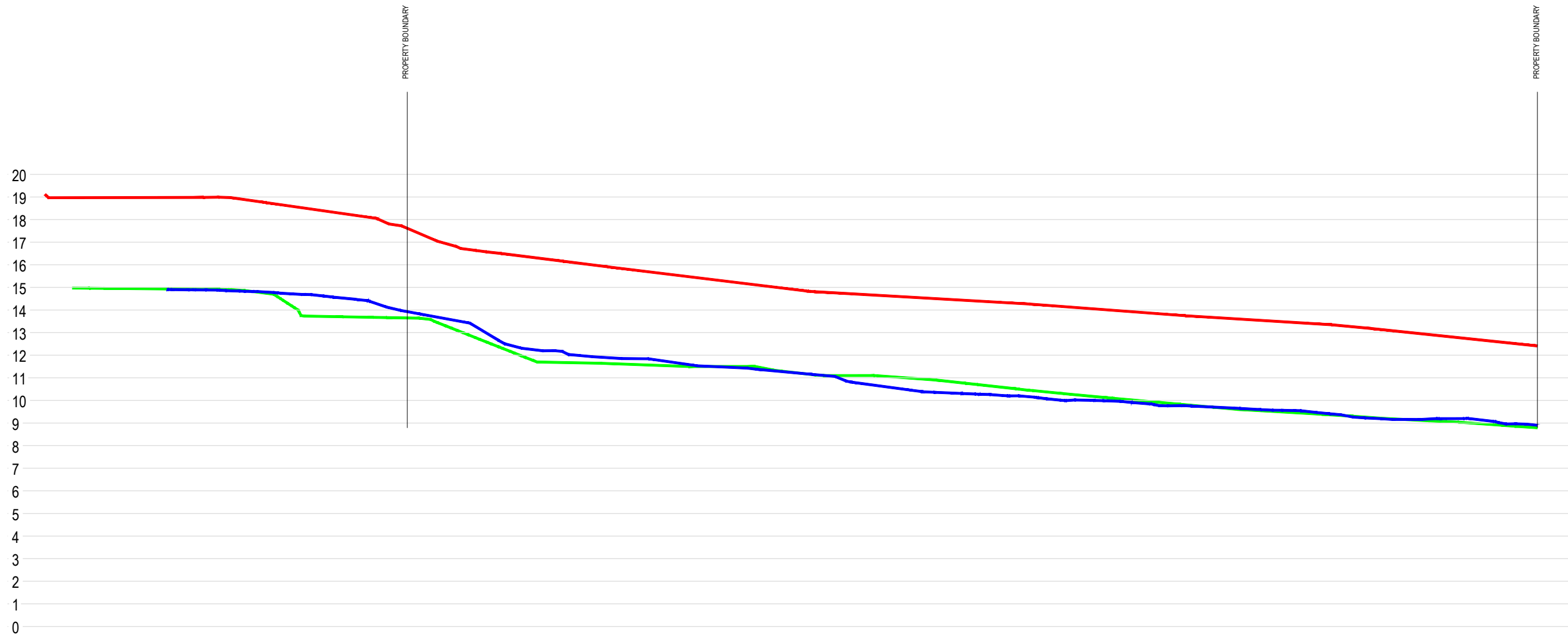
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SECTION 1.23
1:25 SK1

- SECTION 1 - LIDAR SURFACE
- SECTION 2 - 2006 SURVEY SURFACE
- SECTION 3 - 2012 SURVEY TAKEOFF

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				<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 33%;">DRAWN DJM</td> <td style="width: 33%;">DRAWING CHECK PDR</td> <td style="width: 33%;">APPROVED</td> </tr> <tr> <td>DESIGNED DJM</td> <td>DESIGN REVIEW PDR</td> <td>DATE -</td> </tr> </table>	DRAWN DJM	DRAWING CHECK PDR	APPROVED	DESIGNED DJM	DESIGN REVIEW PDR	DATE -	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 33%;">SCALE (Scale as shown)</td> <td style="width: 33%;">DRAWING No 22080-SK002</td> <td style="width: 33%;">REV A</td> </tr> </table>	SCALE (Scale as shown)	DRAWING No 22080-SK002	REV A
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LIDAR CONTOURS - LIDAR DATA FROM 2011
(PRE SITE DEVELOPMENT)
AERIAL IMAGERY FROM 2021
CONTOURS AT 0.5m SPACINGS

CATCHMENT AREA: 1456.9m²



PRE DEVELOPMENT
SUB CATCHMENT 'C' COEFFICIENTS

- SPARSE VEGETATION/BARE BLOCK - 1386.6m²
- PAVING/ROAD - 70.2m²



POST DEVELOPMENT
SUB CATCHMENT 'C' COEFFICIENTS

- ROOF - 635.1m²
- GRASS/LANDSCAPING - 413.7m²
- CONCRETE/PAVING/ROAD - 408.1m²

SCALE 1:250	Orig. Sheet A1
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DESIGNER



Address: 35 ABBOTT ST, CAIRNS 4870
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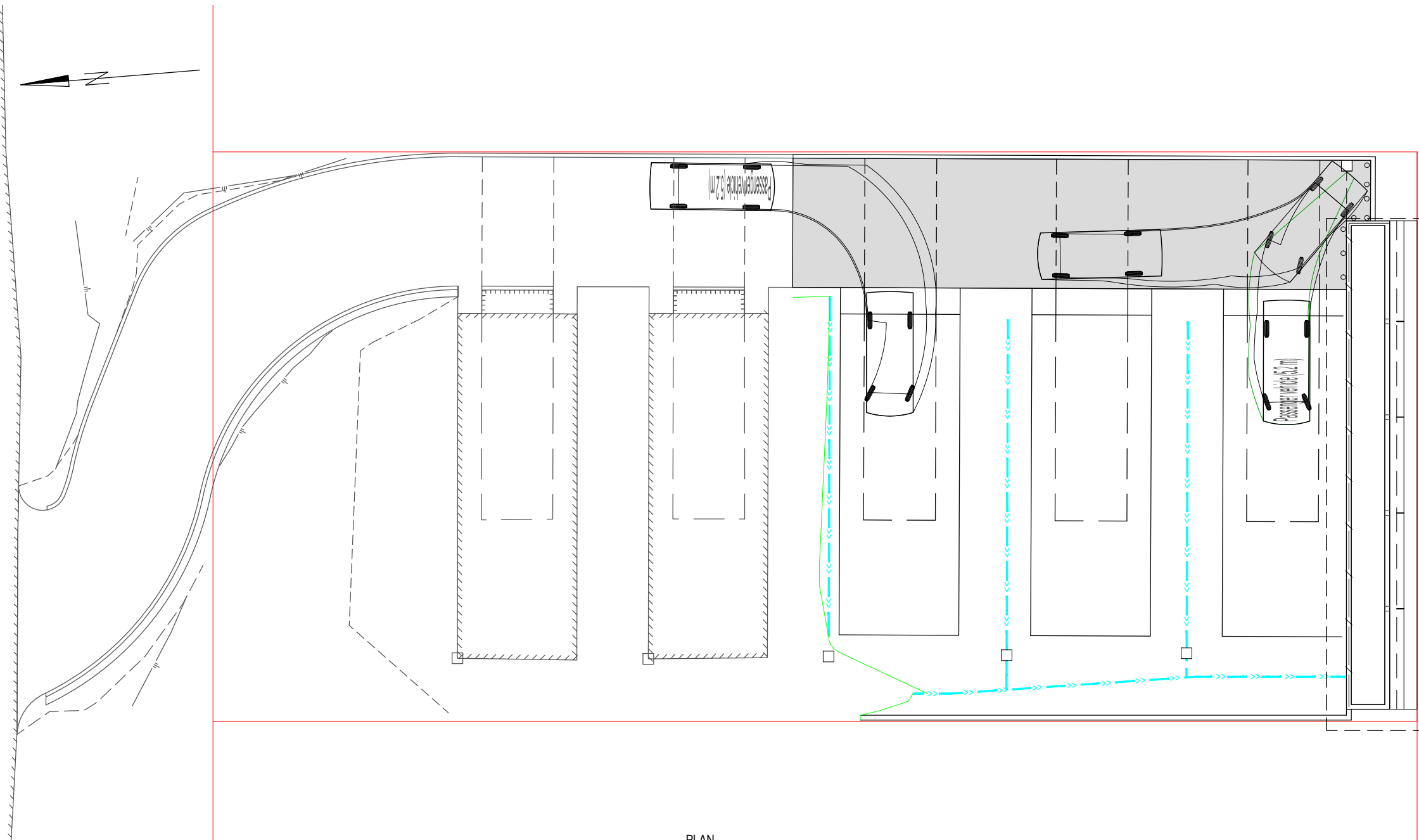
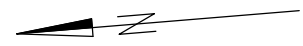
PROJECT 51 JOHN STREET, THURSDAY ISLAND - LOT 2 RP 718647
DETENTION BASIN

DRAWN DJM	DRAWING CHECK PDR	APPROVED
DESIGNED DJM	DESIGN REVIEW PDR	DATE -

TITLE
CATCHMENT PLANS
PRE AND POST DEVELOPMENT

SCALE (Scale as shown) DRAWING No 22080-SK003

JOHN STREET



PLAN
1:100

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LEGEND

-  EXISTING BUILDING OUTLINE
-  EXISTING BUILDING LOWER LEVEL GARAGE OUTLINE
-  EXISTING CHANGE IN GRADE
-  EXISTING EDGE OF ROAD PAVEMENT (JOHN STREET)
-  PROPOSED OVERLAND FLOW DRAINAGE PATH - VEE DRAIN INVERT (SIDESLOPE BATTERS 1 ON 2)
-  PROPOSED BUILDING PAD
-  PROPOSED BUILDING LOWER LEVEL GARAGE OUTLINE
-  PROPOSED TRAFFIC BOLLARD
-  450x450 GRATED STORMWATER PIT TO CATER FOR ROOFWATER RUNOFF
-  PROPOSED ROOF RUNOFF DRAINAGE PIPES Ø100 uPVC
-  PROPOSED DRIVEWAY
-  PROPOSED DRIVEWAY CHANGE IN GRADE

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PROJECT

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DETENTION BASIN

DRAWN

DJM

DESIGNED

DJM

DRAWING CHECK

PDR

DESIGN REVIEW

PDR

APPROVED

DATE

-

TITLE

TURNPATH SKETCH

SCALE

(Scale as shown)

DRAWING No

22080-SK004

REV

A

NOTICE ABOUT DECISION – STATEMENT OF REASONS

This Notice is prepared in accordance with s63(5) and s83(9) of the Planning Act 2016 to provide information about a decision that has been made in relation to a development application. The purpose of the Notice is to enable a public understanding of the reasons for the planning decision, specifically having regard to:

- *the relevant parts of the Planning Scheme and Assessment Benchmarks against which the application was assessed; and*
- *any other information, documents or other material Council was either required to, or able to, consider in its assessment.*

All terms used in this Notice have the meanings given them in the Planning Act 2016 or otherwise their ordinary meaning.

APPLICATION DETAILS

Application No:	IDAS 22/04
Applicant:	OSE Group Pty Ltd c/- Peter De Roma
Proposal:	Development Permit for Operational Works
Description of the Development:	Stormwater and drainage work, internal access driveway and erosion and sediment control.
Street Address:	51 John Street, Thursday Island
Real Property Description:	Lots 0 - 5 on SP262336
Planning Scheme:	Torres Shire Planning Scheme 2022
Land Zoning:	Low-Medium Density Residential Zone
Assessment Type:	Code Assessment

DECISION DETAILS

Type of Decision:	Approval with Conditions
Type of Approval:	Development Permit for Operational Works
Date of Decision:	16 August 2022

ASSESSMENT BENCHMARKS

The following Assessment Benchmarks applied to the development from the following Categorising Instruments:

Categorising Instrument (*Planning Regulation 2017*)

This application did not trigger any matters prescribed by the regulation.

Categorising Instrument (*State Planning Policy - July 2017*)

This application was not impacted by any matters within the SPP.

Local Categorising Instrument (*Torres Shire Planning Scheme 2022*)

Standard Outcomes

- Works, Services, and Infrastructure
- Airport Environs
- Potential and Actual Acid Sulfate Soils Overlay

Local Categorising Instrument (Variation Approval)

Not applicable.

Local Categorising Instrument (Temporary Local Planning Instrument)

Not applicable.

PUBLIC NOTIFICATION

Not applicable – no part of the application required public notification.

REASONS FOR THE DECISION

The application is **approved** on the following grounds:

- (a) The proposal is compliant with the assessment benchmarks and consistent with the Torres Shire Council Planning Scheme 2022 and achieves compliance with the related Material Change of Use and Reconfiguring a Lot approvals.

REASONS FOR APPROVAL DESPITE NON-COMPLIANCE WITH ASSESSMENT BENCHMARKS

Not applicable.

ADDITIONAL RELEVANT MATTERS FOR IMPACT ASSESSMENT

Not applicable.

OTHER MATTERS PRESCRIBED BY THE PLANNING REGULATION 2017

Not applicable.

OTHER DETAILS

If you wish to obtain more information about Council's decision, including a copy of Council's Decision Notice and any conditions or plans relating to the development, please refer to Council's website.

APPEAL RIGHTS

(*Planning Act 2016 & Planning Regulation 2017*)

The rights of an applicant to appeal to a tribunal or the Planning and Environment Court against a decision about a development application are set out in chapter 6, part 1 of the *Planning Act 2016*. For certain applications, there may also be a right to make an application for a declaration by a tribunal (see chapter 6, part 2 of the *Planning Act 2016*).

Appeal by an Applicant

An applicant for a development application may appeal to the Planning and Environment Court against the following:

- the refusal of all or part of the development application;
- a provision of the development approval;
- the decision to give a preliminary approval when a development permit was applied for;
- a deemed refusal of the development application.

An applicant may also have a right to appeal to the Development tribunal. For more information, see schedule 1 of the *Planning Act 2016*.

Appeal by an Eligible Submitter

An eligible submitter for a development application may appeal to the Planning and Environment Court against the decision to approve the application, to the extent the decision relates to:

- any part of the development application that required impact assessment
- a variation request.

The timeframes for starting an appeal in the Planning and Environment Court are set out in section 229 of the *Planning Act 2016*.

Attachment 4 is an extract from the *Planning Act 2016* that sets out the applicant's appeal rights and the appeal rights of a submitter.

To stay informed about any appeal proceedings which may relate to this decision visit:
<https://planning.dsdmip.qld.gov.au/planning/our-planning-system/dispute-resolution/pe-court-database>.